

**GULF BREEZE CITY COUNCIL
EXECUTIVE MEETING AGENDA**

**WEDNESDAY, JUNE 15, 2016
EXECUTIVE MEETING, 6:30 P.M.
COUNCIL CHAMBERS**

THE CITY COUNCIL WILL HOLD A BUDGET WORKSHOP AT 5:00 P.M. PRIOR TO THE EXECUTIVE MEETING

1. ROLL CALL
2. PROCLAMATIONS AND PRESENTATIONS
3. ACTION AGENDA ITEMS
 - A. Public Hearing on Variance Request from the CRA Design Guidelines for a proposed professional building at 67 Baybridge Drive
 - B. Approval of Development Review Board Recommendations:
 1. Our Gang, LLC
Request to develop new subdivision located at 113 Navarre Street and 410 Warwick Street
 2. Northern Horizons, LLC
Request to expand parking lot at 33 Gulf Breeze Parkway (The Bridge Bar)
 - C. Award of bid for Landscape Architecture Design Services
 - D. Approval to establish a FEMA Alternative Project, West Golf Course Bunkers
 - E. Approval of time extension for the Northwest Florida Water Management District Grant
 - F. Approval of Ordinance 05-16, Amending the deadline for qualification of candidate
 - G. Authorization to remove glass from the list of recyclables in the City's contract with Allied Waste
4. NEW ITEMS
5. INFORMATION ITEMS
6. PUBLIC FORUM
7. ADJOURNMENT

If any person decides to appeal any decisions made with respect to any matter considered at this meeting or public hearing, such person may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and any evidence upon which the appeal is to be based. The public is invited to comment on matters before the City Council upon seeking and receiving recognition from the Chair. If you are a person with a disability who needs accommodation in order to participate in a public hearing you are entitled to the provision of certain assistance. Please contact the City Clerk's office at (850) 934-5115 or at 1070 Shoreline Drive, Gulf Breeze at least one (1) week prior to the date of the public hearing.



City of Gulf Breeze

MEMORANDUM

TO: Edwin A. Eddy, City Manager

FROM: Craig S. Carmichael, Director of Community Services

DATE: June 9, 2016

SUBJECT: VARIANCE REQUEST FROM THE CRA DESIGN GUIDELINES FOR A PROPOSED PROFESSIONAL OFFICE BUILDING AT 67 BAYBRIDGE DRIVE.

Over the past couple of months, City Staff has been working with Mateer Properties, LLC (Applicant) on a proposed two-story professional office building located at 67 Baybridge Drive. The building will be located on one of the five remaining vacant lots located in the Baybridge Subdivision. During our discussions, it became apparent that the project would require a variance to blend with the existing architecture of the subdivision.

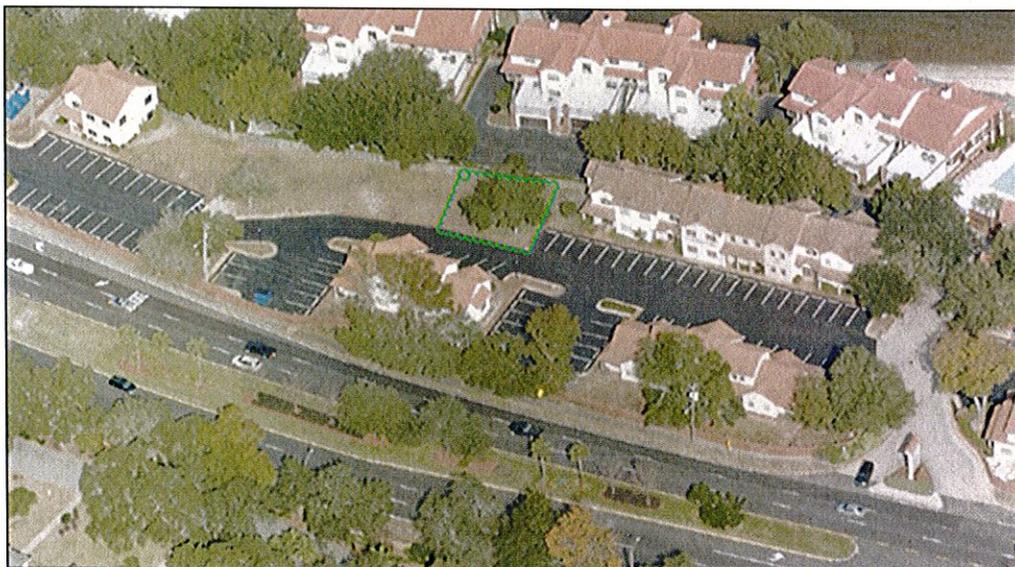


The Applicant is requesting a variance because the location is within the Community Redevelopment Area (CRA) and the CRA design standards would prevent them from matching the architecture of the complex. Therefore, they are requesting a waiver from Chapter 26 of the City's Land Development Code (LDC).

Because this project is classified as Level III Development, Section 20-42 the City's Land Development Code (LDC) designates the City Council as the appropriate variance review body. Additionally, Section 20-48 of the LDC also requires that the Development Review Board (DRB) review the variance and make a recommendation to the City Council. As a result, a public hearing for the aforementioned requested is scheduled for June 20, 2016 (see attached memorandum) and the DRB reviewed the project at the June 7, 2016 meeting (see attached draft minutes).

Both City Staff and the Development Review Board (DRB) have reviewed the request and recommend that the City Council grant the variance for the following reasons:

- ◆ The Baybridge Subdivision is a mixed use complex that consists of commercial properties in the front and residential condominiums in the rear. The subdivision was platted in the early 80's and predates the CRA design standards that were adopted in the mid 00's
- ◆ The location of the parcel being developed is located on the interior of the subdivision and is not readily visible from Gulf Breeze Parkway and located behind an existing building. Additionally, the subdivision is partially screened by a brick wall.

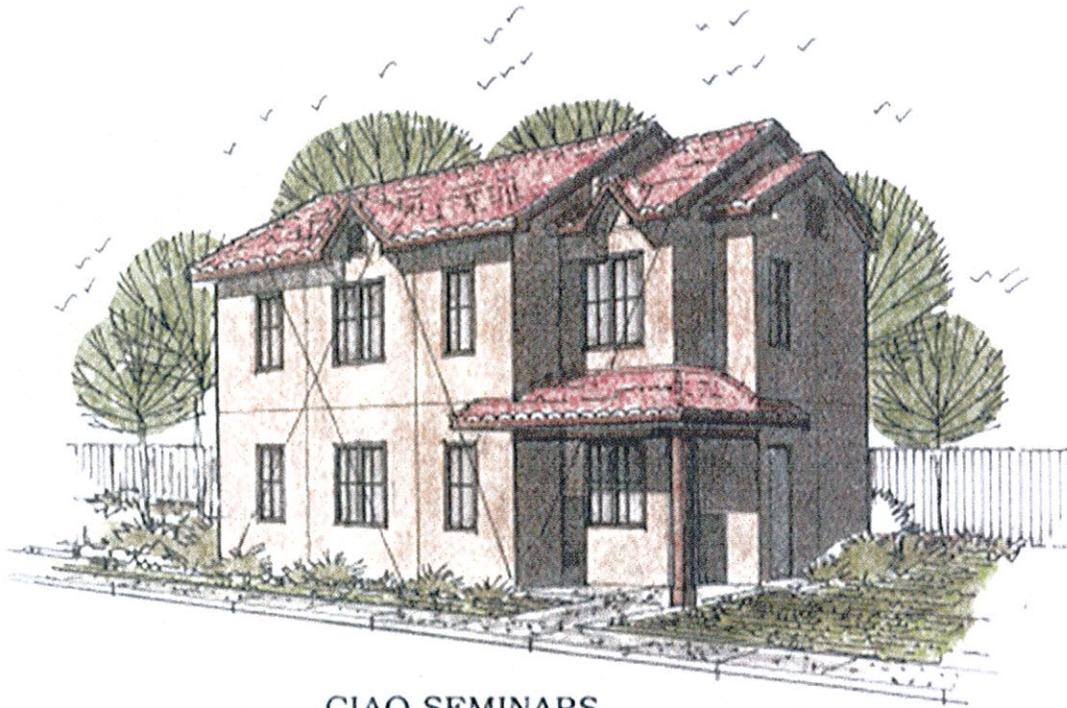


- ◆ The location is in a preapproved subdivision with an existing architectural style. Additionally, all of the parking and landscaping are already in place and have already been approved by the City when the complex was originally developed.
- ◆ The architectural themes listed in the CRA design guidelines could possibly violate the subdivision restrictions and covenants.
- ◆ The proposed building will have the same architectural style as the rest of the buildings in the complex.

Existing



Proposed



CIAO SEMINARS
BAYBRIDGE

RECOMMENDATION: THAT THE CITY COUNCIL APPROVE MATEER PROPERTIES, LLC'S VARIANCE REQUEST TO WAIVE THE CRA DESIGN STANDARDS STIPULATED IN CHAPTER 26 OF THE CITY'S LAND DEVELOPMENT CODE.



City of Gulf Breeze

MEMORANDUM

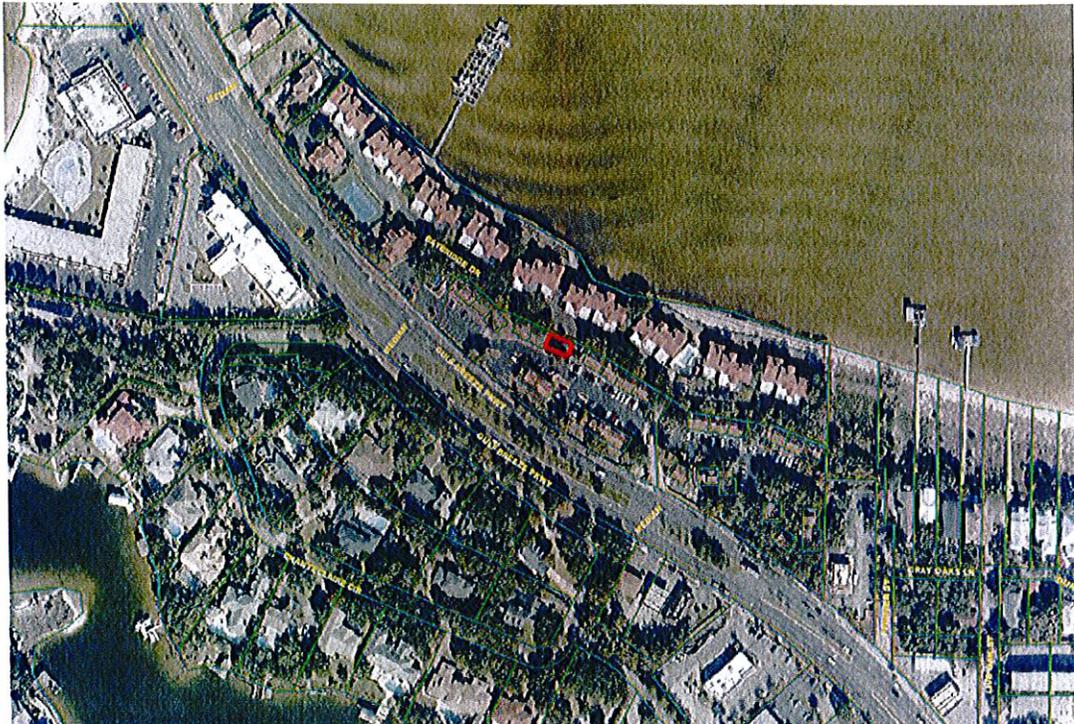
TO: Edwin A. Eddy, City Manager

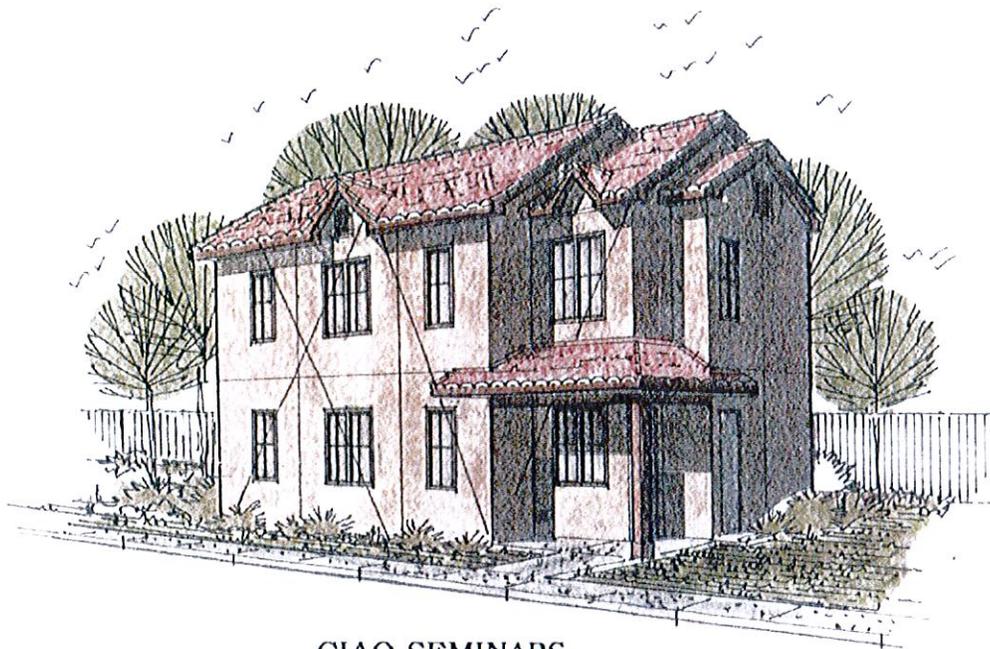
FROM:  Craig S. Carmichael, Director of Community Services

DATE: May 5, 2016

SUBJECT: VARIANCE REQUEST BAYBRIDGE OFFICE PARK

City staff recently received a variance packet from Mateer Properties, LLC. Mateer Properties is requesting the City to consider waiving the CRA Design Standards for a proposed professional office building on Lot 6, Block 1, Baybridge Subdivision.





CIAO SEMINARS
BAYBRIDGE

Because the proposed development is classified as a Level III Development, Section 20-43(b) of the City's Land Development Code (LDC) stipulates that the City Council is charged with hearing the variance request. As such, Section 20-49(3) of the LDC requires that public hearing be noticed by way of the City's normal monthly utility bills and sent to all current water accounts in the City. The notice must be sent at least 15 days but not more than 30 days before the date of the public hearing. With these parameters taken into consideration, the next utility billing mailing for City water accounts will be June 1, 2016 and staff proposes the hearing date be set for June 20, 2016. Detailed information along with staff's recommendation will be distributed in the June 15, 2016 Executive City Council agenda packet.

RECOMMENDATION: THAT THE CITY COUNCIL SET A HEARING DATE OF JUNE 20, 2016 FOR THE PURPOSE OF HEARING THE MATEER PROPERTIES VARIANCE REQUEST AND AUTHORIZE CITY STAFF TO PROVIDE NOTICE OF PUBLIC HEARING IN THE JUNE 1, 2016 UTILITY BILL MAILER.

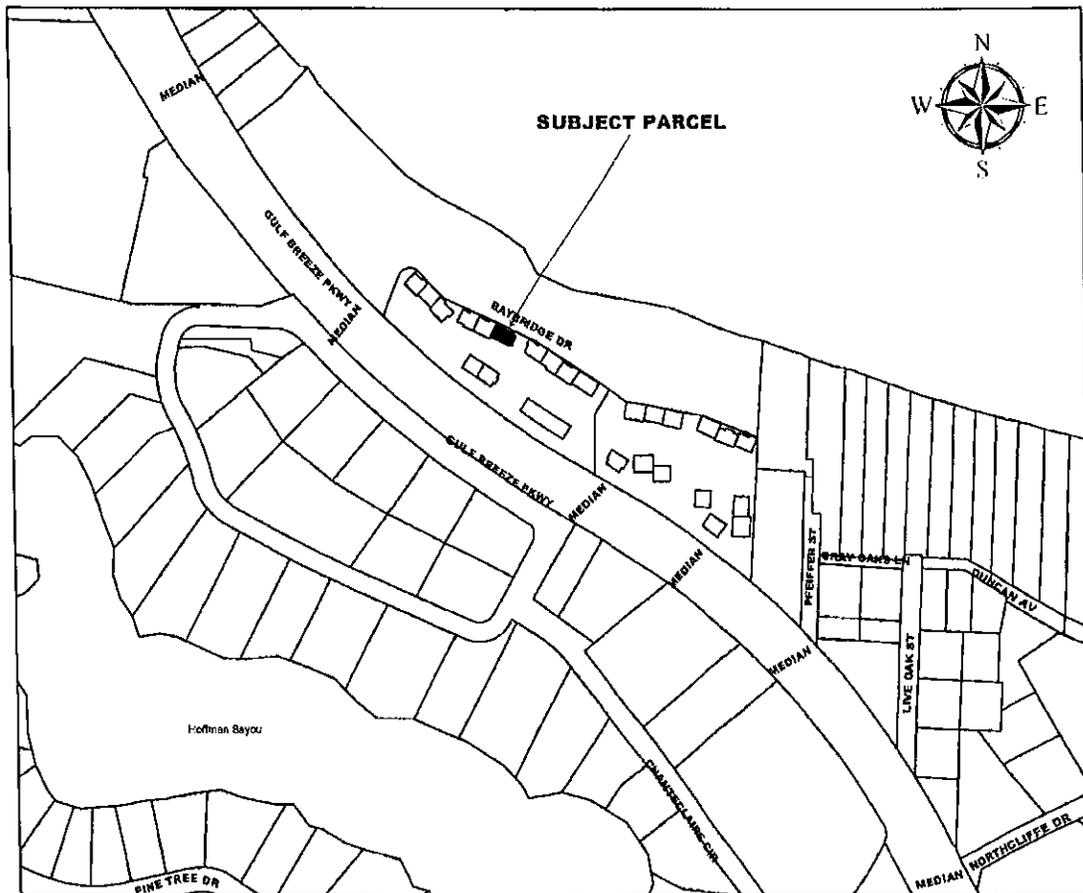
Attachment: MAILER (DRAFT)



City of Gulf Breeze

NOTICE OF PUBLIC HEARING

THE GULF BREEZE CITY COUNCIL WILL BE HOLDING A PUBLIC HEARING FOR A VARIANCE REQUEST CONCERNING THE COMMUNITY REDEVELOPMENT AREA ARCHITECTURAL GUIDELINES FOR A PROPOSED BUILDING TO BE CONSTRUCTED ON LOT 6, BLOCK 1, BAYBRIDGE SUBDIVISION (VACANT PARCEL). THE PUBLIC HEARING WILL TAKE PLACE JUNE 20, 2016 AT GULF BREEZE CITY HALL, 1070 SHORELINE DRIVE AT 6:30 PM. FOR MORE INFORMATION, PLEASE CONTACT THE DEPARTMENT OF COMMUNITY SERVICES AT 934-5109.



**MINUTES
DEVELOPMENT REVIEW BOARD
JUNE 7, 2016
TUESDAY.....6:30 P.M.
CITY HALL OF GULF BREEZE**

PRESENT

Joe Henderson
George Williams
John Adams
Laverne Baker
Bill Clark

ABSENT

Maggie Thorp
Ramsey Landry

STAFF

Shane Carmichael
Stephanie Lucas

The meeting was called to order at 6:30 p.m. by Chairman George Williams.

The City Clerk called roll and gave the invocation and pledge of allegiance.

After Roll Call, a motion was made by Mrs. Baker to approve the May 3, 2016, minutes as written. Mr. Clark seconded the motion. The May 3, 2016, minutes were approved unanimously.

Mr. Williams asked if any members had any exparte communications regarding the pending case. There were none.

PROJECT NO. JDPL2-16-0004: JEREMY J. AND ELISA R. TWIDWELL, 343 DEER POINT DRIVE, GULF BREEZE, FLORIDA, REQUEST TO CONSTRUCT A BOARDWALK AND PIER WITH A COVERED BOAT LIFT AT 343 DEER POINT DRIVE, GULF BREEZE, FL.

Jason Taylor with Wetland Sciences, Inc., 3308 Gulf Beach Highway, Pensacola, Florida, appeared before the Board on behalf of the applicants. Mr. Taylor presented the case and answered questions.

Shane Carmichael, Director of Community Services, presented the staff report to the Board and answered questions.

Mr. Adams made a motion to approve the project as submitted. Mr. Clark seconded. The vote to approve the project was unanimous.

PROJECT NO. JS DL3-16-0001: OUR GANG, LLC, 3010 WESTFIELD DRIVE, GULF BREEZE, FLORIDA, REQUEST TO DEVELOP NEW SUBDIVISION TO BE NAMED WARWICK PLACE AT 113 NAVARRE STREET AND 410 WARWICK STREET, GULF BREEZE, FL.

Renee Foret and Sam Lundy with Foret and Lundy Builders, 1031 Westfield Road, Gulf Breeze, Florida, appeared before the Board as owners and developers of the subdivision. They presented the case and answered questions.

Shane Carmichael, Director of Community Services, presented the staff report to the Board and answered questions.

Mayor Pro Tem Henderson made a motion to approve the project with the following changes to the plat: 1) location and sizes of utility lines be included on the face of the plat, and 2) removal of the extraneous information. Mr. Clark seconded. The vote to approve the project was unanimous.

Mr. Carmichael stated the project is classified as a Level III Development and the case would go before the City Council for final approval on June 20, 2016.

PROJECT NO. JMLL3-16-0001: NORTHERN HORIZONS, LLC, P.O. BOX 1144 GULF BREEZE, FLORIDA, REQUEST TO EXPAND THE PARKING LOT AT 33 GULF BREEZE PARKWAY, GULF BREEZE, FL (THE BRIDGE BAR).

Tom Hammond with Hammond Engineering, Inc., 3802 North "S" Street, Pensacola, Florida, appeared before the Board on behalf of the applicants. Mr. Hammond presented the case and answered questions. Nick Wheatley, 33 Gulf Breeze Parkway, Gulf Breeze, Florida, answered questions from the Board.

Shane Carmichael, Director of Community Services, presented the staff report to the Board and answered questions. He advised the Board that the City's stormwater consultant approved the stormwater plan.

Mr. Clark made a motion to approve the project as reflected in the amended plans. Mr. Adams seconded. The vote to approve the project was unanimous.

Mr. Carmichael stated the project is classified as a Level III Development and the case would go before the City Council for final approval on June 20, 2016.

PROJECT NO. JVCL3-16-0001: MATEER PROPERTIES, INC., 1032 FT. PICKENS ROAD, PENSACOLA BEACH, FLORIDA, REQUEST TO CONSTRUCT A PROFESSIONAL BUILDING, AT 67 BAYBRIDGE DRIVE, GULF BREEZE, FL.

Greg Uzdevenes, 918 Cervantes Street, Pensacola, Florida, appeared before the Board on behalf of the applicants. Mr. Uzdevenes presented the case and answered questions. Dan Green, Manager of the Commercial Association for Baybridge, answered questions from the Board regarding exterior paint colors for the new building and assured it would be in keeping with the surrounding offices.

Shane Carmichael, Director of Community Services, presented the staff report to the Board and answered questions. He explained that the applicant was asking for a variance to waive the architectural requirements of Chapter 26 of the City's Code of Ordinances. Construction of the Baybridge Office Complex predates the creation of the Community Redevelopment Agency and the proposed architectural design for the new building would not be in compliance with Chapter 26. The applicant is requesting to construct the new building so it will mirror the existing buildings.

Mayor Pro Tem Henderson made a motion to approve the project as submitted. Mrs. Baker seconded. The vote to approve the project was unanimous.

Mr. Carmichael stated the project is classified as a Level III Development and the case would go before the City Council for final approval on June 20, 2016.

OPEN FORUM

NEW INFORMATION

Mr. Carmichael reminded the Board that the annual financial disclosure forms must be filed by July 1, 2016.

ADJOURNMENT: The meeting was adjourned at 7:10 p.m.

ATTESTED TO:

Stephanie D. Lucas, City Clerk

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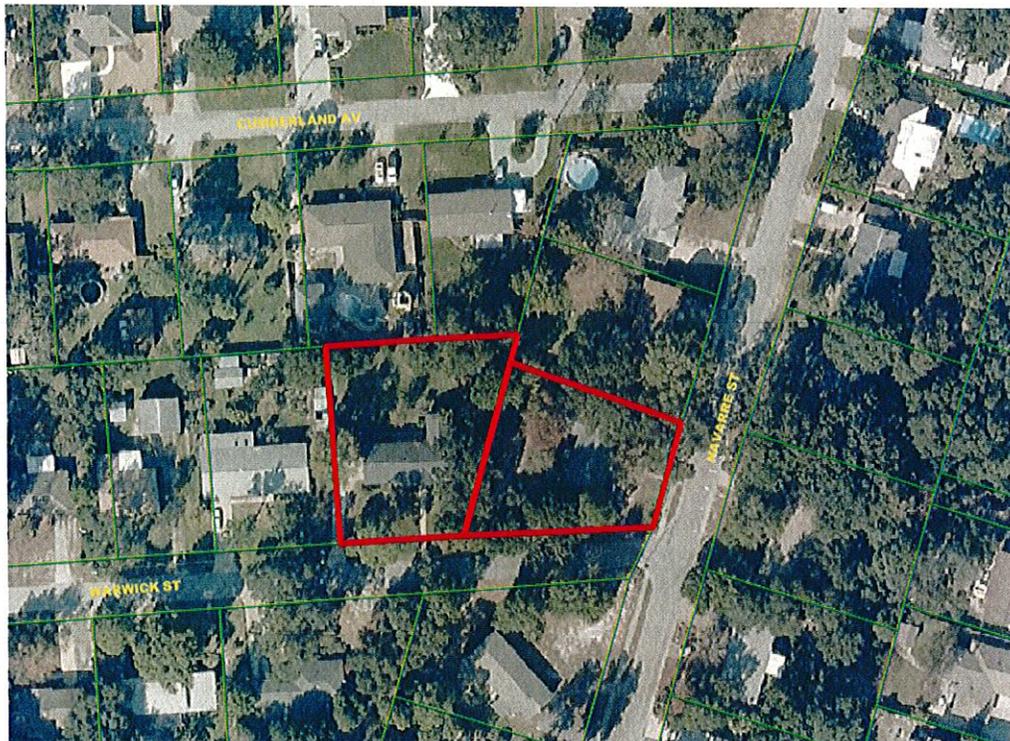


City of Gulf Breeze

DEVELOPMENT REVIEW BOARD

STAFF REPORT

PROJECT NO: JSDL3-16-0001
 APPLICATION DATE: 05/05/2016
 DESCRIPTION: NEW 3 LOT SUBDIVISION – LEVEL III
 PROJECT LOCATION: 113 NAVARRE ST & 410 WARWICK ST



PARCEL INFORMATION:

ITEM	113 NAVARRE ST	410 WARWICK ST
SRC PARCEL ID:	06-3S-29-0540-03300-0200	06-3S-29-0540-03300-0210
SUBDIVISION:	CASABLANCA 1ST ADD TO PARCEL #4	CASABLANCA 1ST ADD TO PARCEL #4
LOT / BLOCK:	LOT 20 / BLOCK 33	LOT 21 / BLOCK 33
SIZE (ACRES):	0.321	0.378
ZONING:	R1A	R1A
FLU:	LDR	LDR
MISC:	CORNER LOT	INTERIOR LOT

OWNER / DEVELOPER: OUR GANG LLC
3010 WESTFIELD RD
GULF BREEZE, FL 32563
(850) 932-6159

SURVEYOR: E. WAYNE PARKER
MERRILL PARKER SHAW, INC.
4928 N. DAVIS HGWY
PENSACOLA, FL 32503
(850) 478-4293

ENGINEER: THOMAS HAMMOND, P.E.
HAMMOND ENGINEERING, INC.
3802 N "S" ST
PENSACOLA, FL 32505
(850) 434-2603

STAFF COMMENTS:

PROJECT DESCRIPTION:

THE DEVELOPER, OUR GANG, LLC. HAS PURCHASED TWO ADJOINING LOTS AT THE CORNER OF NAVARRE STREET AND WARWICK STREET. THEY ARE PROPOSING TURNING THE TWO EXISTING LOTS INTO THREE LOTS, THEREBY, CREATING A NEW SUBDIVISION CALLED WARWICK PLACE. ACCORDING TO THE PLAT SUBMITTED BY THE SURVEYOR, THE NEW SUBDIVISION WILL BE APPROXIMATELY .81 ACRES IN TOTAL AREA AND BROKEN DOWN AS FOLLOWS:

LOT DATA:

LOT NO.	ACREAGE	SQ. FT.
LOT 1	0.27	11,686
LOT 2	0.27	11,730
LOT 3	0.28	12,007
OVERALL	0.81	35,423

FACE OF PLAT:

THE PLAT CONTAINS ALL OF THE INFORMATION REQUIRED BY SECTION 25-46 OF THE CITY'S LAND DEVELOPMENT CODE (LDC) WITH THE EXCEPTION OF THE LOCATION AND SIZE OF WATER, GAS AND SEWER MAINS, DRAINPIPES AND ALL STRUCTURES ON THE LAND TO BE SUBDIVIDED OR WITHIN TEN FEET OF SUCH LAND. THE FACE OF THE PLAT NEEDS TO AMENDED TO INCLUDE

THE AFOREMENTIONED UTILITIES. ADDITIONALLY, IT APPEARS THAT THERE IS SOME EXTRANEIOUS INFORMATION THAT IS CONTAINED ON THE FACE OF THE PLAT THAT IS NOT REQUIRED BY THE LDC AND SHOULD BE REMOVED. THOSE ITEMS ARE:

1. LOCATION AND SIZE OF THE TREES.
2. NOTATION OF A COVERED DIRT ROAD ON THE WESTERN BOUNDARY LINE OF THE SUBDIVISION.
3. SEVERAL DENOTATIONS OF FENCES.

ZONING & CONCURRENCY:

THE TWO EXISTING PARCELS HAVE A ZONING DESIGNATION OF R1A (SINGLE FAMILY RESIDENTIAL) AND A FUTURE LAND USE DESIGNATION OF LDR (LOW DENSITY RESIDENTIAL). BASED ON THESE TWO DESIGNATIONS, A NEW SINGLE FAMILY RESIDENTIAL SUBDIVISION WOULD BE CONSIDERED AN ACCEPTABLE USE.

ACCORDING TO A CONCURRENCY REPORT PREPARED BY HAS CONSULTING GROUP ON MAY 3, 2016, ALL NECESSARY FACILITIES ARE CURRENTLY AVAILABLE TO ACCOMMODATE THE IMPACTS ASSOCIATED WITH THE PROPOSED DEVELOPMENT AT THE ADOPTED LEVEL OF SERVICE STANDARDS.

PERFORMANCE STANDARDS:

<u>DESCRIPTION</u>	<u>REQUIREMENT</u>	<u>PROVIDED</u>
MIN. LOT AREA	9,000 S.F.	LOT 1 – 11,686 S.F. LOT 2 – 11,730 S.F. LOT 3 – 12,007 S.F.
MIN. LOT WIDTH	80 FT	LOT 1 – 110 FT LOT 2 – 80 FT LOT 3 – 80 FT
MIN. LOT WIDTH @ CURB	50 FT	LOT 1 – 99 FT LOT 2 – 80 FT LOT 3 – 80 FT
MIN. FRONT SETBACK	30 FT	LOT 1 – 30 FT LOT 2 – 30 FT LOT 3 – 30 FT
MIN. SIDE SETBACKS	8 FT & 15 FT†	LOT 1 – 8 FT & 15 FT† LOT 2 – 8 FT LOT 3 – 8 FT
MIN. REAR SETBACK	8 FT & 15 FT†	LOT 1 – 30 FT & 15 FT† LOT 2 – 30 FT LOT 3 – 30 FT

† - DENOTES CORNER LOT SETBACKS

STORMWATER:

STORMWATER IS UNDER REVIEW BY KENNETH HORNE AND ASSOCIATES WHICH IS THE CITY'S STORMWATER CONSULTANT. STAFF WILL PROVIDE THEIR FINDINGS AT MEETING.

RECOMMENDATION:

CITY STAFF HAS REVIEWED THE PROJECT AND FINDS THAT IT MEETS THE INTENT OF THE CITY'S LDC WITH THE EXCEPTION OF THE ITEMS NOTED ABOVE. CITY STAFF RECOMMENDS THAT THE DEVELOPMENT REVIEW BOARD APPROVE THE PROJECT CONTINGENT UPON THE PLAT BEING MODIFIED TO INCLUDE THE LOCATION AND SIZES OF THE UTILITY LINES AND THE REMOVAL OF THE EXTRANEOUS INFORMATION.



City of Gulf Breeze

RECEIVED
 LEVEL II AND III DEVELOPMENT
 ORDER APPLICATION

11:00

PROPERTY OWNER INFORMATION		PROJECT LOCATION INFORMATION:					
NAME: OUR GANG LLC BENEVE FORET		PHYSICAL ADDRESS: 113 NAVARRE & 410 WARNICK					
ADDRESS: 3010 WESTFIELD RD		SUBDIVISION NAME: WARWICK PLACE					
ADDRESS 2:		PARCEL ID #:					
		CORRENT	SEC	TWN	RNG	SUB	BLK LOT
CITY: GULF BREEZE		ZONING DESIGNATION: P - PUBLIC LANDS					
STATE: FLORIDA		IS THE PROPERTY A CORNER LOT? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO					
PHONE #:	(850) 932-6159	ZIP:	32563				
FAX:	N/A	CELL #:	(850) 565-0472				
E-MAIL: foretandlundy@bellsouth.net		DRIVING DIRECTIONS: SHORELINE DR TO NAVARRE ST. NAVARRE TO WARWICK, LOT IS ON CORNER OF NAVARRE & WARWICK					

DESCRIPTION OF PROJECT:

TYPE OF PROJECT: RENOVATION NEW CONSTRUCTION POOL MARINE DEMO
 OTHER: LEVEL III RE-PLAT

SCOPE OF WORK: LOTS 113 NAVARRE AND 410 WARNICK WILL BECOME A NEW SUBDIVISION CALLED WARWICK PLACE. THE SUBDIVISION WILL BE MADE UP OF THREE NEW LOTS.

OCCUPANCY CLASSIFICATION: RESIDENTIAL ASSEMBLY BUSINESS MERCANTILE
 STORAGE OTHER:

INTENDED USE: TO BUILD 3 NEW RESIDENTIAL HOMES

DIMENSION:	LENGTH	WIDTH	HEIGHT	STORIES	SQUARE FEET

ESTIMATED COST OF CONSTRUCTION: _____ ESTIMATED COMPLETION DATE: _____

UTILITY INFORMATION:

UTILITIES: WATER SEWER SEPTIC TANK GAS ELECTRIC

WATER TAP SIZE: 3/4" 1" 1 1/2" 2" 4" 6"

LIST GAS APPLIANCES: TO BE DETERMINED

WILL THE STRUCTURE HAVE FIRE SPRINKLERS: YES NO

SECTION 21-263 OF THE CITY'S CODE OF ORDINANCES REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT WITH A CONSTRUCTION PERMIT EVALUATION EXCEEDING 50 PERCENT OF THE MOST RECENTLY ASSESSED VALUE OF THE PROPERTY, SHALL BE REQUIRED TO PLACE ALL UTILITIES UNDERGROUND, INCLUDING ELECTRICAL AND TELEPHONE LINES.

MARINE CONSTRUCTION:

TYPE OF PROJECT: RETAINING/SEA WALL DOCK/PIER BOATHOUSE UNCOVERED LIFT

BODY OF WATER: PENSACOLA BAY SANTA ROSA SOUND HOFFMAN BAYOU

WOODLAND BAYOU GILMORE BAYOU

IF A DOCK/PIER, BOATHOUSE OR UNCOVERED LIFT, WHAT IS THE LENGTH MEASURED FROM THE MHWL?

IF A DOCK/PIER, BOATHOUSE OR UNCOVERED LIFT, WHAT IS THE TOTAL SQUARE FOOTAGE?

IF A BOATHOUSE OR UNCOVERED LIFT, WHAT IS THE SQUARE FOOTAGE?

WHAT IS THE DISTANCE FROM THE FURTHERMOST EXTENT OF THE DOCK/PIER, BOATHOUSE OR UNCOVERED BOAT LIFT FROM THE PROPERTY LINE?

LEFT: _____ RIGHT: _____

SECTION 24-172 OF THE LAND DEVELOPMENT CODE REQUIRES THAT ALL DOCKS, PIERS, BOATHOUSES, UNCOVERED SLIPS OR SIMILAR STRUCTURES PROVIDE CONTINUING PUBLIC ACCESS TO ALL SOVEREIGN LANDS, HOW WILL THIS BE ACCOMPLISHED FOR THIS PARTICULAR PROJECT?

IF A DOCK/PIER BOATHOUSE OR UNCOVERED SLIP, ALONG WHAT SECTION OF SHORELINE WILL THE PROJECT BE LOCATED:

- | | |
|--|--|
| <input type="checkbox"/> NAVAL LIVE OAKS - BOB SIKES BRIDGE (200' MAX) | <input type="checkbox"/> BOB SIKES - SHORELINE PARK (200' MAX) |
| <input type="checkbox"/> SHORELINE PARK - DEER POINT (200' MAX) | <input type="checkbox"/> DEER POINT - ZAMARA CANAL (300' MAX) |
| <input type="checkbox"/> ZAMARA CANAL - FAIRPOINT (475' MAX) | <input type="checkbox"/> FAIRPOINT - PENSACOLA BAY BRIDGE (225' MAX) |
| <input type="checkbox"/> PENSACOLA BAY BRIDGE - NAVAL LIVE OAKS (200' MAX) | <input type="checkbox"/> INLAND BAYOU (25' MAX) |

IF A RETAINING/SEA WALL, WHAT IS IT'S DISTANCE FROM THE MHWL?

WHAT IS THE VERTICAL HEIGHT OF THE RETAINING/SEA WALL? SEAWARD _____ LANDWARD _____

ARE COPIES OF FEDERAL AND STATE PERMITS ATTACHED? YES NO

POOL INFORMATION:

POOL TYPE: BELOW GROUND ABOVE GROUND SPA/HOT TUB

DIMENSION:				
	LENGTH	WIDTH	DEPTH	SQUARE FEET

IS THE YARD FENCED OR WILL IT BE FENCED? YES NO

IS SO, WHAT IS THE HEIGHT?

WILL THE POOL HAVE SCREENED ENCLOSURE?

IS SO, WHAT ARE THE DIMENSIONS:				
	LENGTH	WIDTH	HEIGHT	SQUARE FEET

I, _____, NOW ENGAGING OR ABOUT TO ENGAGE IN THE CONSTRUCTION OF A SWIMMING POOL UPON MY OWN PREMISES AS DESCRIBED ON THE REQUIRED BUILDING PERMIT APPLICATION AND LOCATED IN SANTA ROSA COUNTY, FLORIDA, DO HEREBY ACKNOWLEDGE THE REQUIREMENT OF AN APPROVED BARRIER AT LEAST 48 INCHES (4 FEET) ABOVE GRADE, MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL, IS TO BE ERECTED PRIOR TO FILLING THE POOL WITH WATER. FURTHERMORE, I ACKNOWLEDGE THE REQUIREMENT OF AN ALARM ON ALL DOORS AND WINDOWS WITHIN A DWELLING UNIT HAVING DIRECT ACCESS TO THE POOL THROUGH A WALL (OR WALLS) THAT SERVES AS PART OF THE BARRIER.

I FURTHER ACKNOWLEDGE THAT THE FOREGOING IS REQUIRED BY SECTION 315 OF THE STANDARD SWIMMING POOL CODE AND CITY ORDINANCE.

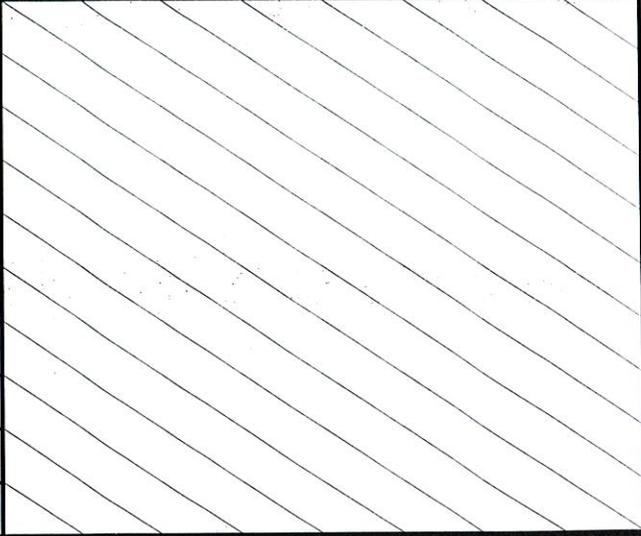
_____ CONTRACTOR'S SIGNATURE	_____ DATE	_____ OWNER'S SIGNATURE	_____ DATE
_____ PRINTED NAME		_____ PRINTED NAME	

COMMERCIAL DEVELOPMENT:

ENGINEER'S NAME:		ARCHITECT'S NAME:	
ADDRESS:		ADDRESS:	
ADDRESS 2:		ADDRESS 2:	
CITY:		CITY:	
STATE:		STATE:	
PHONE #:	ZIP:	PHONE #:	ZIP:
FAX:	CELL #:	FAX:	CELL #:
E-MAIL:		E-MAIL:	
STATE LICENSE #:		STATE LICENSE #:	

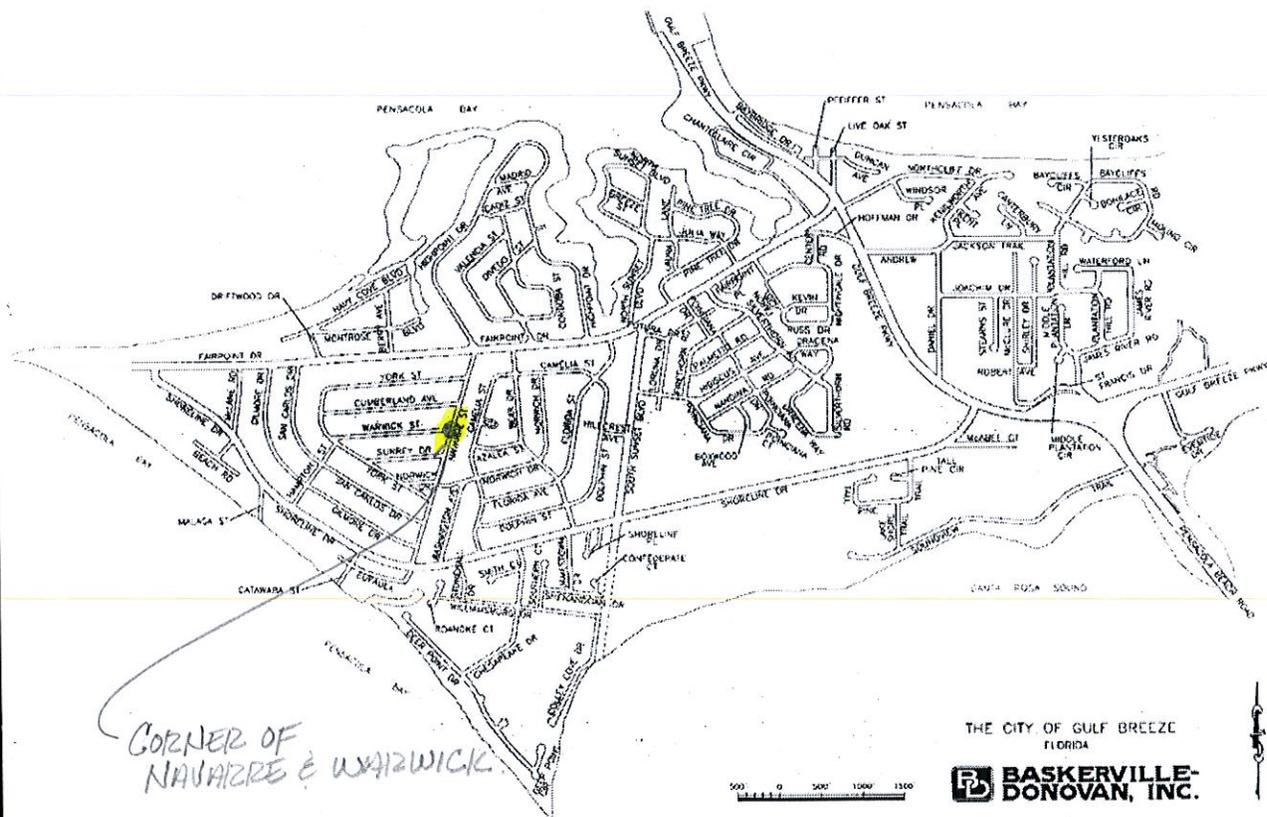
AGENT INFORMATION:

NAME: FORET AND LUNDY BUILDERS	
ADDRESS: 1031 WESTFIELD RD	
ADDRESS 2:	
CITY: GULF BREEZE	
STATE: FLORIDA	
PHONE #: (850) 932-6159	ZIP: 32563
FAX:	CELL #: (850) 565-0473
E-MAIL: foretandlundy@bellsouth.net	
STATE LICENSE #: PR0066855	



LOCATION MAP:

PLEASE MARK THE PROJECT LOCATION ON THE MAP.



AUTHORIZATION:

APPLICATION IS HEREBY MADE TO OBTAIN A DEVELOPMENT ORDER TO THE WORK AS INDICATED IN THE ATTACHED PLANS AND SPECIFICATIONS. I (WE)

CERTIFY THAT NO WORK HAS COMMENCED PRIOR TO THE ISSUANCE OF THE DEVELOPMENT ORDER AND THAT ALL WORK WILL BE PERFORMED IN

ACCORDANCE WITH ALL LAWS REGULATING CONSTRUCTION AND ZONING IN THIS JURISDICTION.

Renee Foret

5.9.2016

Renee Foret

5.9.2016

CONTRACTOR'S SIGNATURE

DATE

OWNER'S SIGNATURE

DATE

RENEE FORET

RENEE FORET

PRINTED NAME

PRINTED NAME



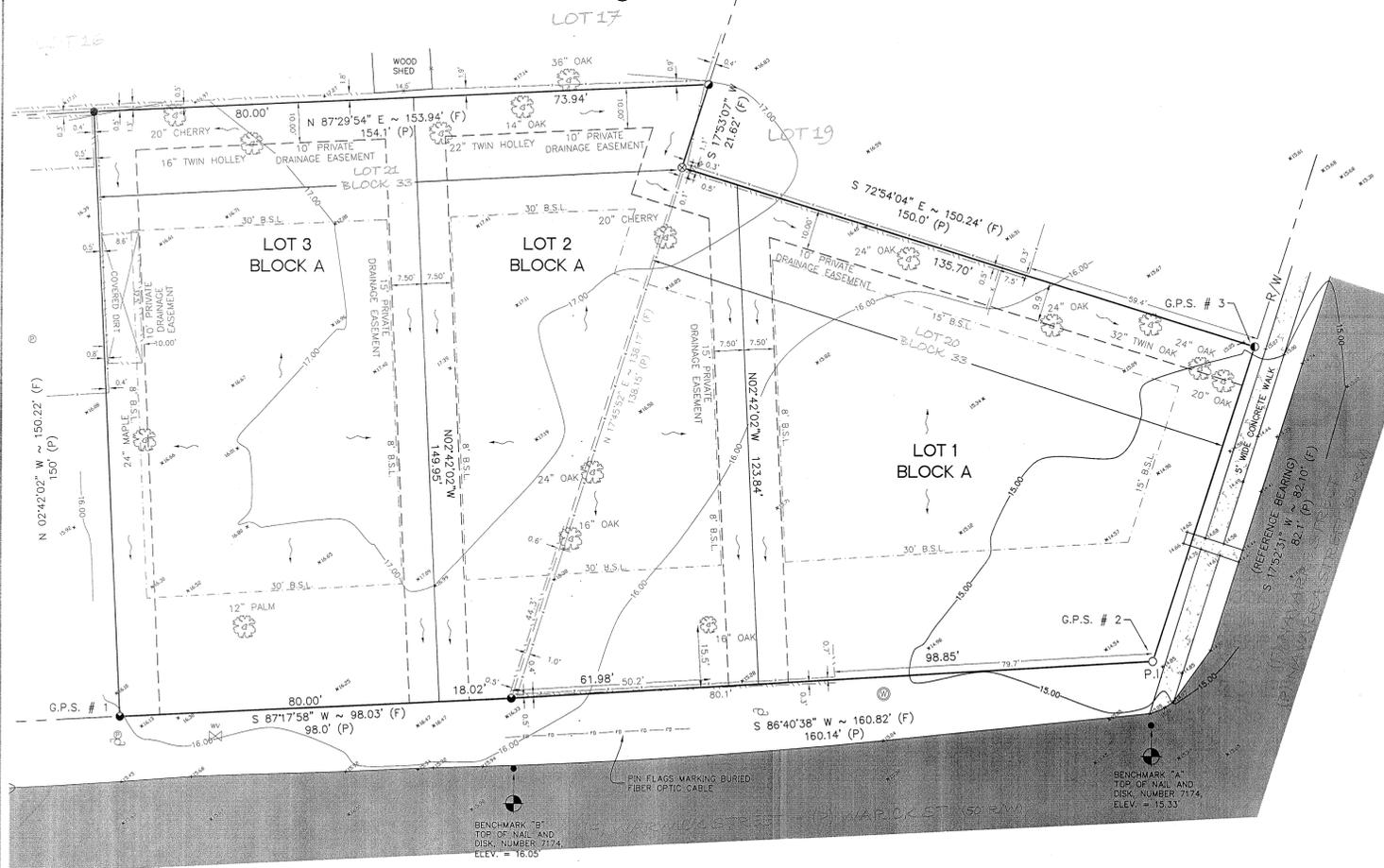
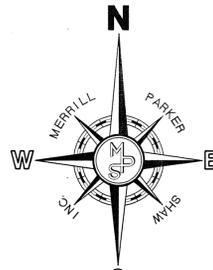
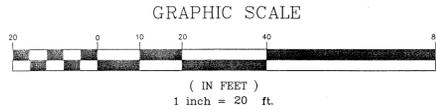
OWNER/DEVELOPER:
OUR GANG, LLC.
3010 WESTFIELD ROAD
GULF BREEZE, FLORIDA 32563

SURVEYOR:
E. WAYNE PARKER
MERRILL PARKER SHAW, INC.
4928 N. DAVIS HIGHWAY
PENSACOLA, FL 32503
(850) 478-4923

ENGINEER:
THOMAS HAMMOND, P.E. # 54574
HAMMOND ENGINEERING, INC.
3802 NORTH S STREET
PENSACOLA, FL 32505
(850) 434-2603

A FINAL SUBDIVISION PLAT OF WARWICK PLACE SUBDIVISION

BEING A RE-SUBDIVISION OF LOTS 20 AND 21, BLOCK 33, CASABLANCA FIRST ADDITION TO PARCEL NUMBER FOUR, AS RECORDED IN PLAT BOOK A AT PAGE 89 OF THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA.
IN A PORTION OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 29 WEST, SANTA ROSA COUNTY, CITY OF GULF BREEZE, FLORIDA
3 LOTS ZONED R1A
MAY 2016



DESCRIPTION:

LOTS 20 AND 21, BLOCK 33, CASABLANCA FIRST ADDITION TO PARCEL NUMBER FOUR, A SUBDIVISION OF A PORTION OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 29 WEST, SANTA ROSA COUNTY, FLORIDA, ACCORDING TO PLAT RECORDED IN PLAT BOOK A, AT PAGE 89, OF THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 17 DEGREES 52 MINUTES 31 SECONDS WEST ALONG WESTERLY RIGHT-OF-WAY LINE OF NAVARRE STREET, ACCORDING TO THE FLORIDA STATE PLANE COORDINATE SYSTEM.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED, THE RECORD PLAT OF CASABLANCA FIRST ADDITION TO PARCEL NUMBER FOUR AS RECORDED IN PLAT BOOK A AT PAGE 89 OF THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTIONS. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.
- ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDER GROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
- THE DIMENSIONS OF THE BUILDINGS SHOWN HEREON DO NOT INCLUDE THE EAVE OVERHANGS OR CONCRETE FOOTERS.
- THE CONTOURS AS SHOWN HEREON ARE AT ONE FOOT INTERVALS.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AS REFERENCED TO THE TRIMBLE VRS NOW GPS NETWORK.
- THIS IS A BOUNDARY SURVEY.
- THE BURIED UTILITIES AS SHOWN HEREON ARE FROM SPOT LOCATIONS AS MARKED BY UTILITY PROVIDERS, AND FROM FIELD OBSERVATION.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, AREAS OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD, AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF THE CITY OF GULF BREEZE, MAP NUMBER 12113C 0606G, EFFECTIVE DATE DECEMBER 19, 2006.
- ALL PLATTED UTILITY EASEMENTS AS SHOWN HEREON SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES IN ACCORDANCE WITH AND SUBJECT TO THE PROVISIONS OF SECTION 177.091 (28) FLORIDA STATUTES.
- A RESIDENCE EXIST ON A PORTION OF LOTS 2 AND 3, BLOCK A, AT THE TIME THIS PLAT WAS PREPARED. SAID RESIDENCE HAS NOT BEEN SHOWN AT THE REQUEST OF THE CITY OF GULF BREEZE.

CITY OF GULF BREEZE PROPOSED ORDINANCE 04-16

Sec. 21-84. - Setback, yard requirements
The minimum setback from the front lot line shall be thirty (30) feet; minimum side yard setback shall be eight (8) feet from the side lot line; minimum rear yard depth is to be thirty (30) feet from any portion of the main house or porch, attached garages or carports to the rear lot line except in the case of corner lots for which the rear setback shall be fifteen (15) feet. On vacant corner lots, the owner or developer may designate which of the street sides shall be considered the front of the lot for setback purposes, and the minimum front setback shall be thirty (30) feet, and the side street setback shall be fifteen (15) feet. For the purpose of determining the setbacks for additions to an existing primary structure located on a residential corner lot, the front setback shall be established by the orientation of the front door and the address of the primary structure. The remaining street shall be considered the side street and the minimum side street setback shall be fifteen (15) feet.

SURVEYOR'S CERTIFICATE:

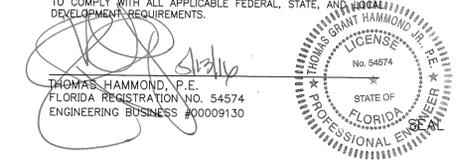
I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED; THAT THE SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THE BOUNDARY INFORMATION ON THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 5J-17.051 AND 5J-17.052, FLORIDA ADMINISTRATIVE CODE AND SECTION 472.027, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME; AND THAT SAID LAND HAS BEEN SUBDIVIDED AS SHOWN.
SIGNED THIS 13th DAY OF MAY, 2016.

E. Wayne Parker
E. WAYNE PARKER, PROFESSIONAL LAND SURVEYOR
(FLORIDA REGISTRATION NO. 3683, CORPORATE NO. 7174)
MERRILL PARKER SHAW, INC.
4928 N. DAVIS HIGHWAY
PENSACOLA, FL 32503
(850) 478-4923

SEAL

ENGINEER'S CERTIFICATE:

I, THOMAS HAMMOND, HEREBY CERTIFY THAT I AM THE ENGINEER OF RECORD FOR WARWICK PLACE SUBDIVISION AND ALL DRAINAGE IS DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS.



DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT OUR GANG, LLC, (OWNER), OF THE LAND DESCRIBED AND PLATTED HEREON, KNOWN AS WARWICK PLACE, HEREBY DEDICATES NOTHING TO THE PUBLIC AND HEREBY REQUESTS THE FILING OF THIS PLAT IN THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA.

WITNESS:
PRINT NAME:
SAM LUNDY, (OWNER)
WITNESS:
PRINT NAME:

NOTARY PUBLIC:

BEFORE THE SUBSCRIBER PERSONALLY APPEARED SAM LUNDY, KNOWN TO ME TO BE THE INDIVIDUAL DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE USES AND PURPOSES HEREIN SET FORTH, AND WHO IS PERSONALLY KNOWN TO ME OR WHO HAS PRODUCED _____ AS IDENTIFICATION.
GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2016.

SIGNATURE _____
PRINT NAME _____
COMMISSION NO. _____
MY COMMISSION EXPIRES _____
NOTARY PUBLIC, STATE OF FLORIDA _____ SEAL

CITY OF GULF BREEZE SURVEYOR'S APPROVAL:

THIS PLAT OF "WARWICK PLACE" HAS BEEN REVIEWED FOR CONFORMITY TO CHAPTER 177, FLORIDA STATUTES AND WAS APPROVED BY THE CITY SURVEYOR OF GULF BREEZE, FLORIDA ON THE _____ DAY OF _____, 2016.

WALTER W. CURLE, JR.
PROFESSIONAL SURVEYOR & MAPPER #5096
STATE OF FLORIDA

CITY COUNCIL CERTIFICATE:

I, Leslie Guyer, City Clerk of the City of Gulf Breeze, Florida hereby certify that this plat was presented to the City Council of said City at the meeting held on the day of _____ of May, 2016, and was approved by said Council.

Leslie Guyer, City Clerk, City of Gulf Breeze, Florida.

Matt Dannheisser, Mayor, City of Gulf Breeze, Florida

CERTIFICATE OF APPROVAL OF CLERK OF THE CIRCUIT COURT:

I, DONALD C. SPENCER, CLERK OF THE CIRCUIT COURT OF SANTA ROSA COUNTY, FLORIDA, HEREBY CERTIFY THAT THE WITHIN PLAT COMPLIES WITH ALL THE REQUIREMENTS OF THE PLAT ACT (CHAPTER 177, SECTIONS 177.011 THROUGH 177.151 OF THE ACTS OF THE FLORIDA LEGISLATURE) AND THE SAME WAS FILED FOR RECORD ON THE _____ DAY OF _____, 2016, AND FILED IN PLAT BOOK _____ AT PAGES _____ OF SAID COUNTY.

DONALD C. SPENCER
CLERK OF THE CIRCUIT COURT
SANTA ROSA COUNTY, FLORIDA

BUILDING SETBACKS:
AS SHOWN

LOT DATA:

LOT NO.	ACREAGE	SQ. FT.
LOT 1	0.27	11,686
LOT 2	0.27	11,730
LOT 3	0.28	12,007
OVERALL	0.81	35,423

STATE PLANE COORDINATES

STATION	NORTHING (FT)	EASTING (FT)	SOURCE
GPS-1	503664.1030	1121010.6520	GPS OBS
GPS-2	503678.0430	1121269.1200	GPS OBS
GPS-3	503756.1230	1121294.3920	GPS OBS

REFERENCE MONUMENTS

SRC 1061	504141.2800	1131733.6500	PUBLISHED
SRC 1062	504887.3100	1134486.9000	PUBLISHED

LEGEND:

- ~ 1/2" CAPPED IRON ROD, STAMPED "TISDALE" (FOUND)
- ~ 5/8" PLAIN IRON ROD (FOUND)
- ~ 1" PLAIN IRON PIPE, UNNUMBERED (FOUND)
- ~ 1/2" CAPPED IRON ROD, NUMBER 7092 (FOUND)
- ~ 1/2" CAPPED IRON ROD, NUMBER 6112 (FOUND)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET)
- P.I. ~ POINT OF INTERSECTION (RIGHT-OF-WAY)
- R/W ~ RIGHT OF WAY
- B.S.L. ~ BUILDING SETBACK LINE
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD MEASUREMENT/ INFORMATION
- ~ OVERHEAD ELECTRIC LINE
- ~ 4' HIGH CHAIN LINK FENCE
- ~ 6' HIGH WOOD PRIVACY FENCE
- ~ BURIED FIBER OPTIC CABLE LINES
- ELEV. ~ ELEVATION
- F.F.E. ~ FINISHED FLOOR ELEVATION
- x 9.71 ~ SPOT ELEVATION
- ~ CONTOUR LINE
- ⊙ ~ BENCHMARK IN VICINITY
- ⊙ ~ TREE
- ⊙ ~ WATER STUB OUT
- ⊙ ~ WATER VALVE / METER
- ⊙ ~ PHONE BOX
- ⊙ ~ UTILITY POLE

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PLAT BOOK _____, PAGE _____



City of Gulf Breeze

DEVELOPMENT REVIEW BOARD

STAFF REPORT

PROJECT NO: JMLL3-16-0001
APPLICATION DATE: 04/28/2016
DESCRIPTION: PARKING LOT EXPANSION – LEVEL III
PROJECT LOCATION: 33 GULF BREEZE PKWY



PARCEL INFORMATION:	SRC PARCEL ID:	05-3S-29-0000-00108-0000
	SUBDIVISION:	N/A
	LOT / BLOCK:	N/A
	SIZE (ACRES):	.761
	ZONING:	C1
	FLU:	C
	MISC:	VACANT / WATERFRONT

PROPERTY OWNER: NORTHERN HORIZONS, LLC.
 PO BOX 1144
 GULF BREEZE, FL 32562

ENGINEER: RYAN L. SIEG
 HAMMOND ENGINEERING, INC.
 3802 N "S" ST
 PENSACOLA, FL 32505
 (850) 432-2603

STAFF COMMENTS:

DESCRIPTION:

THE APPLICANT IS REQUESTING TO EXPAND THE PARKING FACILITIES FOR THE BRIDGE BAR LOCATED AT 33 GULF BREEZE PKWY. ACCORDING TO THE PLANS SUBMITTED BY THE APPLICANT'S ENGINEER, THE EXPANDED PARKING LOT WILL CREATE 41 PARKING STALLS THAT ARE ROUGHLY 9 FT WIDE BY 18 FT LONG. THE NEW PARKING AREA WILL ALSO INCLUDE THE MINIMUM LANDSCAPING REQUIRED BY THE CITY'S LAND DEVELOPMENT CODE (LDC). IT SHOULD BE NOTED THAT THE APPLICANT COMMENCED CONSTRUCTION WITHOUT SECURING THE NECESSARY AUTHORIZATIONS. AS A RESULT, THE CITY STOPPED THE WORK AND MADE THE APPLICANT APPLY FOR THE APPROPRIATE AUTHORIZATIONS. STAFF HAS REVIEWED THE PROJECT AND OFFERS THE FOLLOWING COMMENTS:

ZONING:

THE PROPERTY CARRIES A ZONING DESIGNATION OF C1 (COMMERCIAL) AND A FUTURE LAND USE DESIGNATION OF C (COMMERCIAL); THEREFORE, A PARKING AREA ASSOCIATED WITH THE BUSINESS IS CONSIDERED AN ACCEPTABLE USE.

LANDSCAPING:

THE LDC REQUIRES FIVE PERCENT OF THE DEVELOPMENT AREA BE DEDICATED TO LANDSCAPING. ACCORDING TO THE PLANS, THE DEVELOPMENT AREA IS 25,376 SF. FIVE PERCENT EQUATES TO 1,269 SF. THE APPLICANT IS PROPOSING 1,777 SF.

AS IT PERTAINS TO INTERNAL PARKING LANDSCAPING, IT APPEARS THAT THE APPLICANT HAS INCORRECTLY INTERRUPTED THE LDC AND IS REFERENCING HIS INTERNAL LANDSCAPING AREAS BASED ON THE LANDSCAPING STRIPS PROVIDED ON THE EXTREME EDGES OF WEST AND NORTH LIMITS. IT IS STAFF'S INTERPRETATION AND PAST PRACTICE THAT THE INTERNAL LANDSCAPING BE BASED ON INTERNAL ISLANDS AS DEPICTED IN THE CLOUDED AREAS IN THE BELOW LISTED DIAGRAM.



BASED ON THIS, THE INTERNAL PARKING LANDSCAPING CALCULATIONS NEED TO BE BASED ON THE CLOUDED AREAS. ADDITIONALLY, THEY NEED TO CONTAIN THE NECESSARY PLANTINGS AS REQUIRED IN SECTION 24-135(4) OF THE LDC.

STORMWATER:

STORMWATER IS UNDER REVIEW BY KENNETH HORNE AND ASSOCIATES WHICH IS THE CITY'S STORMWATER CONSULTANT. STAFF WILL PROVIDE THEIR FINDINGS AT THE MEETING.

RECOMMENDATION:

CITY STAFF HAS REVIEWED THE PROJECT AND FINDS THAT IT MEETS THE INTENT OF THE CITY'S LDC WITH THE EXCEPTION OF THE LANDSCAPING ITEM NOTED ABOVE. CITY STAFF RECOMMENDS THAT THE DEVELOPMENT REVIEW BOARD APPROVE THE PROJECT CONTINGENT UPON THE INTERIOR PARKING LANDSCAPING CALCULATIONS BEING BASED ON THE CLOUDED AREAS AND THEY NEED TO CONTAIN THE NECESSARY PLANTINGS AS REQUIRED IN SECTION 24-135(4) OF THE LDC.



PROPERTY OWNER INFORMATION		PROJECT LOCATION INFORMATION:						
NAME: Nick Wheatley		PHYSICAL ADDRESS: 33 Gulf Breeze Parkway						
ADDRESS: PO Box 1144		SUBDIVISION NAME:						
ADDRESS 2: 33 Gulf Breeze Pkwy.		PARCEL ID #:	5	3S	29	0	108	0
CITY: Gulf Breeze		SEC	TWN	RNG	SUB	BLK	LOT	
STATE: Florida		ZONING DESIGNATION: C1 - COMMERCIAL						
PHONE #:		ZIP: 32562	IS THE PROPERTY A CORNER LOT? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
FAX:		CELL #: 850-450-0214	DRIVING DIRECTIONS:					
E-MAIL: wheatley.nick@gmail.com		0.15 miles from the south of the Pensacola Bay Bridge						
		1 mile north of Gulf Breeze High School on west side of US 98						
DESCRIPTION OF PROJECT:								
TYPE OF PROJECT: <input type="checkbox"/> RENOVATION <input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> POOL <input type="checkbox"/> MARINE <input type="checkbox"/> DEMO								
<input checked="" type="checkbox"/> OTHER: Parking Lot expansion								
SCOPE OF WORK: To expand a 8,690 sf gravel parking lot to 18,558 sf gravel parking lot. Providing a total of 41 parking stalls.								
OCCUPANCY CLASSIFICATION: <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> ASSEMBLY <input type="checkbox"/> BUSINESS <input type="checkbox"/> MERCANTILE								
<input type="checkbox"/> STORAGE <input checked="" type="checkbox"/> OTHER:								
INTENDED USE: Existing Bar, no new structures proposed								
DIMENSION:	0.00	0.00	0.00	0.00	0.00	0.00		
	LENGTH	WIDTH	HEIGHT	STORIES	SQUARE FEET			
ESTIMATED COST OF CONSTRUCTION: \$15,000				ESTIMATED COMPLETION DATE: 06/23/2016				
UTILITY INFORMATION:								
UTILITIES: <input type="checkbox"/> WATER <input type="checkbox"/> SEWER <input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> GAS <input type="checkbox"/> ELECTRIC								
WATER TAP SIZE: <input type="checkbox"/> 3/4" <input type="checkbox"/> 1" <input type="checkbox"/> 1 1/2" <input type="checkbox"/> 2" <input type="checkbox"/> 4" <input type="checkbox"/> 6"								
LIST GAS APPLIANCES:								
WILL THE STRUCTURE HAVE FIRE SPRINKLERS: <input type="checkbox"/> YES <input type="checkbox"/> NO								
SECTION 21-263 OF THE CITY'S CODE OF ORDINANCES REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT WITH A CONSTRUCTION PERMIT EVALUATION EXCEEDING 50 PERCENT OF THE MOST RECENTLY ASSESSED VALUE OF THE PROPERTY, SHALL BE REQUIRED TO PLACE ALL UTILITIES UNDERGROUND, INCLUDING ELECTRICAL AND TELEPHONE LINES.								

N/A

MARINE CONSTRUCTION:			
TYPE OF PROJECT:	<input type="checkbox"/> RETAINING/SEA WALL	<input type="checkbox"/> DOCK/PIER	<input type="checkbox"/> BOATHOUSE <input type="checkbox"/> UNCOVERED LIFT
BODY OF WATER:	<input type="checkbox"/> PENSACOLA BAY	<input type="checkbox"/> SANTA ROSA SOUND	<input type="checkbox"/> HOFFMAN BAYOU
	<input type="checkbox"/> WOODLAND BAYOU	<input type="checkbox"/> GILMORE BAYOU	
IF A DOCK/PIER, BOATHOUSE OR UNCOVERED LIFT, WHAT IS THE LENGTH MEASURED FROM THE MHWL?			
IF A DOCK/PIER, BOATHOUSE OR UNCOVERED LIFT, WHAT IS THE TOTAL SQUARE FOOTAGE?			
IF A BOATHOUSE OR UNCOVERED LIFT, WHAT IS THE SQUARE FOOTAGE?			
WHAT IS THE DISTANCE FROM THE FURTHERMOST EXTENT OF THE DOCK/PIER, BOATHOUSE OR UNCOVERED BOAT LIFT FROM THE PROPERTY LINE?			
LEFT:		RIGHT:	
SECTION 24-172 OF THE LAND DEVELOPMENT CODE REQUIRES THAT ALL DOCKS, PIERS, BOATHOUSES, UNCOVERED SLIPS OR SIMILAR STRUCTURES PROVIDE CONTINUING PUBLIC ACCESS TO ALL SOVEREIGN LANDS, HOW WILL THIS BE ACCOMPLISHED FOR THIS PARTICULAR PROJECT?			
IF A DOCK/PIER BOATHOUSE OR UNCOVERED SLIP, ALONG WHAT SECTION OF SHORELINE WILL THE PROJECT BE LOCATED:			
<input type="checkbox"/> NAVAL LIVE OAKS - BOB SIKES BRIDGE (200' MAX)	<input type="checkbox"/> BOB SIKES - SHORELINE PARK (200' MAX)		
<input type="checkbox"/> SHORELINE PARK - DEER POINT (200' MAX)	<input type="checkbox"/> DEER POINT - ZAMARA CANAL (300' MAX)		
<input type="checkbox"/> ZAMARA CANAL - FAIRPOINT (475' MAX)	<input type="checkbox"/> FAIRPOINT - PENSACOLA BAY BRIDGE (225' MAX)		
<input type="checkbox"/> PENSACOLA BAY BRIDGE - NAVAL LIVE OAKS (200' MAX)	<input type="checkbox"/> INLAND BAYOU (25'MAX)		
IF A RETAINING/SEA WALL, WHAT IS IT'S DISTANCE FROM THE MHWL?			
WHAT IS THE VERTICAL HEIGHT OF THE RETAINING/SEA WALL? SEAWARD LANDWARD			
ARE COPIES OF FEDERAL AND STATE PERMITS ATTACHED? <input type="checkbox"/> YES <input type="checkbox"/> NO			

N/A

POOL INFORMATION:				
POOL TYPE: <input type="checkbox"/> BELOW GROUND <input type="checkbox"/> ABOVE GROUND <input type="checkbox"/> SPA/HOT TUB				
DIMENSION:				
	LENGTH	WIDTH	DEPTH	SQUARE FEET
IS THE YARD FENCED OR WILL IT BE FENCED? <input type="checkbox"/> YES <input type="checkbox"/> NO				
IS SO, WHAT IS THE HEIGHT?				
WILL THE POOL HAVE SCREENED ENCLOSURE?				
IS SO, WHAT ARE THE DIMENSIONS:				
	LENGTH	WIDTH	HEIGHT	SQUARE FEET
<p>I, _____, NOW ENGAGING OR ABOUT TO ENGAGE IN THE CONSTRUCTION OF A SWIMMING POOL UPON MY OWN PREMISES AS DESCRIBED ON THE REQUIRED BUILDING PERMIT APPLICATION AND LOCATED IN SANTA ROSA COUNTY, FLORIDA, DO HEREBY ACKNOWLEDGE THE REQUIREMENT OF AN APPROVED BARRIER AT LEAST 48 INCHES (4 FEET) ABOVE GRADE, MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL, IS TO BE ERECTED PRIOR TO FILLING THE POOL WITH WATER. FURTHERMORE, I ACKNOWLEDGE THE REQUIREMENT OF AN ALARM ON ALL DOORS AND WINDOWS WITHIN A DWELLING UNIT HAVING DIRECT ACCESS TO THE POOL THROUGH A WALL (OR WALLS) THAT SERVES AS PART OF THE BARRIER.</p> <p>I FURTHER ACKNOWLEDGE THAT THE FOREGOING IS REQUIRED BY SECTION 315 OF THE STANDARD SWIMMING POOL CODE AND CITY ORDINANCE.</p>				
_____ CONTRACTOR'S SIGNATURE		_____ DATE	_____ OWNER'S SIGNATURE	
_____ PRINTED NAME		_____ PRINTED NAME		
COMMERCIAL DEVELOPMENT:				
ENGINEER'S NAME: Hammond Engineering, Inc.			ARCHITECT'S NAME: N/A	
ADDRESS: 3802 N S Street			ADDRESS:	
ADDRESS 2:			ADDRESS 2:	
CITY: Pensacola			CITY:	
STATE: FL			STATE:	
PHONE #: 850-434-2603	ZIP: 32505	PHONE #:	ZIP:	
FAX: 850-434-2650	CELL #:	FAX:	CELL #:	
E-MAIL: tom@selanddesign.com			E-MAIL:	
STATE LICENSE #: 51574			STATE LICENSE #:	

AGENT INFORMATION:

NAME:

ADDRESS:

ADDRESS 2:

CITY:

STATE:

PHONE #:

ZIP:

FAX:

CELL #:

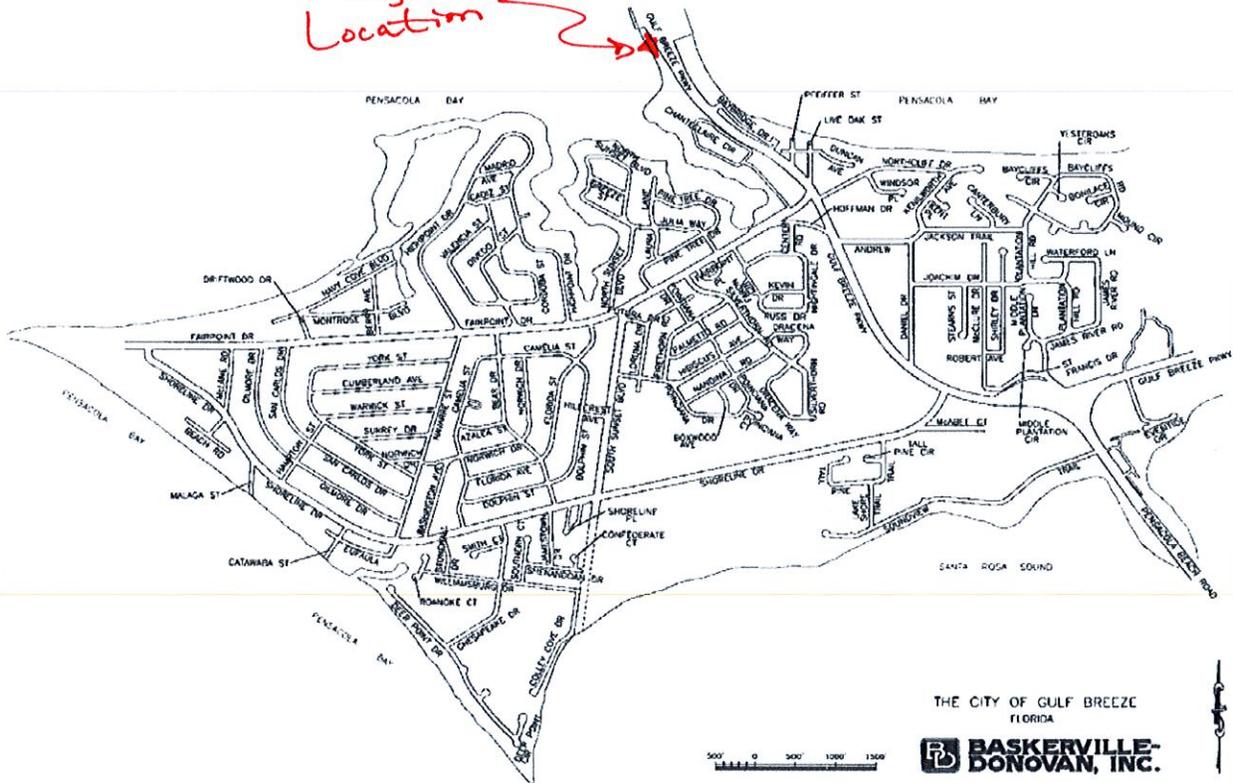
E-MAIL:

STATE LICENSE #:

LOCATION MAP:

PLEASE MARK THE PROJECT LOCATION ON THE MAP.

Project Location →



AUTHORIZATION:

APPLICATION IS HEREBY MADE TO OBTAIN A DEVELOPMENT ORDER TO THE WORK AS INDICATED IN THE ATTACHED PLANS AND SPECIFICATIONS. I (WE)
CERTIFY THAT NO WORK HAS COMMENCED PRIOR TO THE ISSUANCE OF THE DEVELOPMENT ORDER AND THAT ALL WORK WILL BE PERFORMED IN
ACCORDANCE WITH ALL LAWS REGULATING CONSTRUCTION AND ZONING IN THIS JURISDICTION.

CONTRACTOR'S SIGNATURE

DATE


OWNER'S SIGNATURE

5/16/10
DATE

PRINTED NAME

Nick Wheatley
PRINTED NAME



HAMMOND ENGINEERING, INC.
FLORIDA CERTIFICATE OF AUTHORIZATION NO. 9130
ALABAMA CERTIFICATE OF AUTHORIZATION NO. 3277

May 10, 2016

Ms. Shane Carmichael
City of Gulf Breeze
1070 Shoreline Drive
Gulf Breeze, Florida 32561

**Reference: Bridge Bar Parking Lot
Development Order Application
HEI Project No. 16-024**

Mr. Carmichael:

Please find the following attachments for review and approval by the City of Gulf Breeze Development Review Board:

1. One (1) copy of the Development Order Application.
2. One (1) 11x17 copy of the site development plans.
3. Three (3) full size copies of the site development plans.
4. Three (3) copies of stormwater management plan.

Please feel free to contact this office should you have any questions or need additional information. Thank you for your assistance.

Sincerely,
HAMMOND ENGINEERING, INC.

A handwritten signature in blue ink, appearing to read 'R. Sieg', is written over a horizontal line.

Ryan L. Sieg
Project Manager

GENERAL NOTES:

- CONTRACTOR IS REQUIRED TO MEET SITE AND FURNISHABLE REQUIREMENTS WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE OWNER OF ANY ACCIDENTS AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS NOTIFYING CLEAR AND LOGGING ACTIVITIES TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, PROTECTED AND/OR SOIL PROTECTED WITH GEOTEXTILE, PROTECTIVE MATS OR BERMUDA SOSS PLOW AND SHALL TOPSOIL AND SEEDS SHALL BE STORED AND PROTECTED TO 10 TO 1 OR GREATER SHALL BE PROVIDED.
- WHERE SOSS IS BARE, INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEPTH.
- AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND EXCESSIVE EROSION OF THE TOPSOIL, THE SURFACE SHALL BE COVERED BY SPREADING TO A DEPTH OF 3" TO 6" WITH MULCH OR SOSS.
- TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION WHEN THE SURROUNDING IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SEEDING.
- THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
- ANY UNDESIRABLES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF AGGREGATES OR BUMPY SURFACES.
- COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF VEGETATION.
- CONTRACTOR IS TO MAINTAIN SEEDING AND GRASSING BY MEANS OF MECHANICAL WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-CORING AND RE-PLANTING AS REQUIRED TO ESTABLISH GRASS/SEEDING AREAS FREE OF GROUND OR BARE AREAS AND REPLACE ANY DEFECTIVE MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO RECOVER COST OF MAINTAINED SEEDING AND GRASSING WITH ACCEPTANCE BY THE OWNER IN THE BID.
- CONTRACTOR SHALL INSTALL STAKE TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL CONTROL POINTS MEASURES AS REQUIRED TO RETAIN ALL STAKES ON THE SITE. SURVEYOR SHALL CONTROL MEASURES MAY RESULT IN A CODE VIOLATION VIOLATION.
- DEVELOPER/CONTRACTOR SHALL REMOVE AND REPAIR ALL IMPROVEMENTS, CLEAN UP ACCUMULATED DIRT, AND STABILIZE ANY DISTURBED AREAS FOUND IN DETECTION POINT AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- INTERMEDIATE/PROVISIONAL AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL MAINTAIN STORMWATER CONTROL MEASURES THROUGHOUT CONSTRUCTION AND TAKE NECESSARY MEASURES TO PREVENT THE ACCUMULATION OF SEDIMENT FROM BLASTING DUE TO SEDIMENT.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS INCLUDING PERMANENT STRUCTURES, TOP OF POINTS, EXISTING DRAINAGE, GULLET STRUCTURES, MANHOLES, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT OWNER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL APPROVE/CONSENT WITH THE CITY OF GULF BREEZE INSPECTION OFFICE (850-438-3000) AN INSPECTION OF THE CONSTRUCTION AND FINALLY CONSIDERED CONSTRUCTION STRUCTURES PRIOR TO FINAL ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- EROSION SHALL BE CONTROLLED BY THE USE OF A SILT FENCE BARRIER AS SHOWN ON PLANS AND SHALL BE SET UP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE EROSION CONTROL BARRIERS SHALL BE REMOVED AND THE SITE SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
- CONTRACTOR SHALL NOTIFY SUNDAY ONE UTILITIES (1-800-438-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN PLUMB (IF APPLICABLE).
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DELAYS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY OF GULF BREEZE. ANY DELAYS OR REVISIONS MAY RESULT IN DELAYS IN OBTAINING FINAL APPROVAL.
- ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL MATS (14" x 84" FEET), MAT BALES (1700 LBS), ETC. AS NECESSARY.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE CITY OF GULF BREEZE.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND IDENTIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST.

FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 8' (BASED ON MEAN HIGH WATER FROM THE FEDERAL FLOODING MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF THE CITY OF GULF BREEZE, FLORIDA, COUNTY MAP 120173, FIRM MAP FIRM NUMBER 1213000000, MAP REVISION 01/12/08)

FLOOD ZONE	MAP NUMBER	MAP REVISION	DATE
AE	120173	01/12/08	01/12/08

SIGNAGE:

ANY SIGN ON DRIVE MAY BE DISPLAYED IF THEY PERTAIN EXCLUSIVELY TO THE BUSINESS CARRIED ON WITHIN THE BUILDING OR ON THE PREMISES OF THE BUSINESS WHICH OPERATES A BUSINESS AREA ON SECTION. SIGNS ATTACHED TO A BUILDING SHALL NOT BE GREATER IN TOTAL AREA THAN 10% OF THE FRONT AREA OF THE FIRST FLOOR OF THE BUILDING WITH AN ADDITIONAL 10% PERCENT BEING AVAILABLE FOR USE BY CONTRACTOR. BUSINESS FOR A SIGN OF THE RESIDENTIAL TYPE. PRESCRIPTION SIGNAGE SHALL NOT EXCEED MORE THAN 50 SQUARE FEET (100 SQUARE FEET INCLUDING BOTH SIDES OF ROAD) WITH AN ADDITIONAL 25 SQUARE FEET (50 SF INCLUDING BOTH SIDES) FOR USE BY THAT BUSINESS FOR A SIGN OF THE RESIDENTIAL TYPE. IF A SIGNAGE IS USED, IT MUST BE ATTACHED TO THE SAME POLE AS THE PRINCIPAL PRESCRIPTION SIGN. NO SIGN SHALL EXCEED MORE THAN 30 FEET ABOVE GROUND. NO SIGN SHALL BE ERRECTED IN THE FRONT OF ROAD.

A SEPARATE PERMIT IS REQUIRED FOR SIGNAGE. NO NEW SIGNAGE PROPOSED AS PART OF THIS PROJECT.

JURISDICTIONAL CONTACTS:

CITY OF GULF BREEZE DEVELOPMENT SERVICE

1070 BROADWAY
GULF BREEZE, FL 32561
PHONE NO: (850)-834-8100
FAX NO: (850)-934-8114

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

180 E. REDSTONE AVENUE
CRESTVIEW, FL 32636
PHONE NO: (850)-883-5044
FAX NO: (850)-883-5060

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

160 W. GOVERNMENT STREET, SUITE 308
PENSACOLA, FL 32502
PHONE NO: (850)-598-8300
FAX NO: (850)-595-8417

PROJECT DIRECTORY:

CIVIL ENGINEER
HAMMOND ENGINEERING, INC.
3802 NORTH 9th ST.
PENSACOLA, FL 32506
PHONE NO: (850)-434-2603
FAX NO: (850)-434-2650

SURVEYOR
RUBEN SURVEY & MAPPING
1179 GULF BREEZE PKWY.
GULF BREEZE, FL 32564
PHONE NO: (850)-916-7388
FAX NO: (850)-916-7276

SITE DEVELOPMENT PLANS FOR THE BRIDGE BAR PARKING LOT

SECTION 05, TOWNSHIP 3 SOUTH, RANGE 29 WEST
SANTA ROSA COUNTY, FLORIDA

33 GULF BREEZE PARKWAY
GULF BREEZE, FL 32561

OWNER/DEVELOPER:
NORTHERN HORIZONS LLC
MR. NICK WHEATLEY
PO BOX 1144
GULF BREEZE, FL 32562
(850)-450-0214

PROPERTY ID NO.: 05-3S-29-0000-00108-0000
ZONING DESIGNATION: C1 - COMMERCIAL
ADJACENT ZONING: C1 - COMMERCIAL
FLU DESIGNATION: C
ADJACENT FLU: C/PR

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ PRE-IMPROVEMENT PLAN
- C3 ~ EXISTING CONDITIONS
- C4 ~ POST-IMPROVEMENT PLAN
- C5 ~ GRADING PLAN
- C6 ~ LANDSCAPING PLAN
- C7 ~ CONSTRUCTION DETAILS
- C8 ~ CONSTRUCTION DETAILS



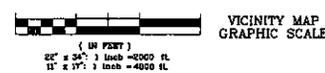
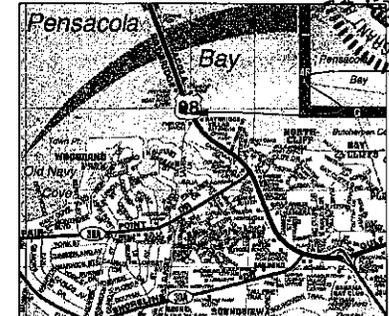
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 9th STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@BELANDESIGN.COM

MAY 10, 2016

HEI PROJECT #: 16-024

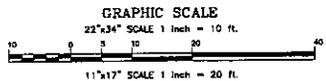
GENERAL NOTES CONTINUED:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY COMPLAINTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION CONDITIONS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO TREES THAT ARE TO REMAIN (IF APPLICABLE).
- CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCURE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, OILS, PAINT, HYDRAULIC FLUIDS, ETC.) TO THE APPROPRIATE STATE (FROM STATE WASTEWATER POINT 1-800-362-6161) AND LOCAL (SANTA ROSA COUNTY HEALTH DEPT. 850-941-3300) AGENCIES.
- SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF EXCESS, STORM, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- PLACEMENT OF UNDERGROUND UTILITIES, PAVEMENT, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SETBACKS, BRANCH, WATER OF GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
- CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, CONES, RED LIGHTING AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND SHUT IT OFF FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BATTERIES FOR INSTALLATION OF ANY INFRASTRUCTURE.
- CONTRACTOR SHALL CLEAN UP EXISTING SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/DEBRIS RECYCLING AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL RUBBISH METAL, PAPER, NAILS, NUTS, BOLTS, BRASS, PLASTER, BRICKS, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF GAIN IN BID.
- CONTRACTOR SHALL PROTECT ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THE PROTECTIVE FENCING AND SOIL REPLENISHMENT OF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL BE INSTALLED WITH A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MAINTAINED WITH STRAW OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE.
- IMMEDIATELY FOLLOWING FINAL DISTURBANCE OR ROAD GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e. STEEP SLOPES AND BROADLY GRADIENTED) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH EITHER MULCH OR A STABLE EROSION MAT AT A RATES OF TWO (2) TO FIVE (5) TONS PER ACRE WITH THE TOP TWO (2) INCHES OF SOIL.
- UNLESS THE CONTRACTOR OF SOIL AT THE SITE IS NECESSARY, THE SITE WILL BE SPRINKLED WITH THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED IF NECESSARY SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL, ROCKS, DRUMS, DIRT OR TRUCKS OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER ALWAYS IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ANY DIRT THAT MUST BE OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
- ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (i.e. CRUSHED STONE, GRAVEL, PROCESS STONE, SILT, EXCAVATED MATERIALS, ETC.) SHALL BE EXTERNALLY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT CITY OF GULF BREEZE, FLORIDA, AND FEDERAL STANDARDS AND REQUIREMENTS.
- "AS-BUILT" RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY OF GULF BREEZE POST-CONSTRUCTION FOR VERIFICATION AND APPROVAL PRIOR TO REQUESTING A FINAL INSPECTION AND APPROVAL. IN LIEU OF THE AS-BUILT DRAWINGS, AN "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ACCORDS TO THE PERMITTED PLANS AND SPECIFICATIONS MAY BE PROVIDED. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE CORRECT, CLEAR AND SIGNED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

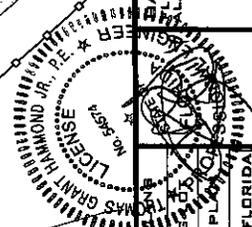
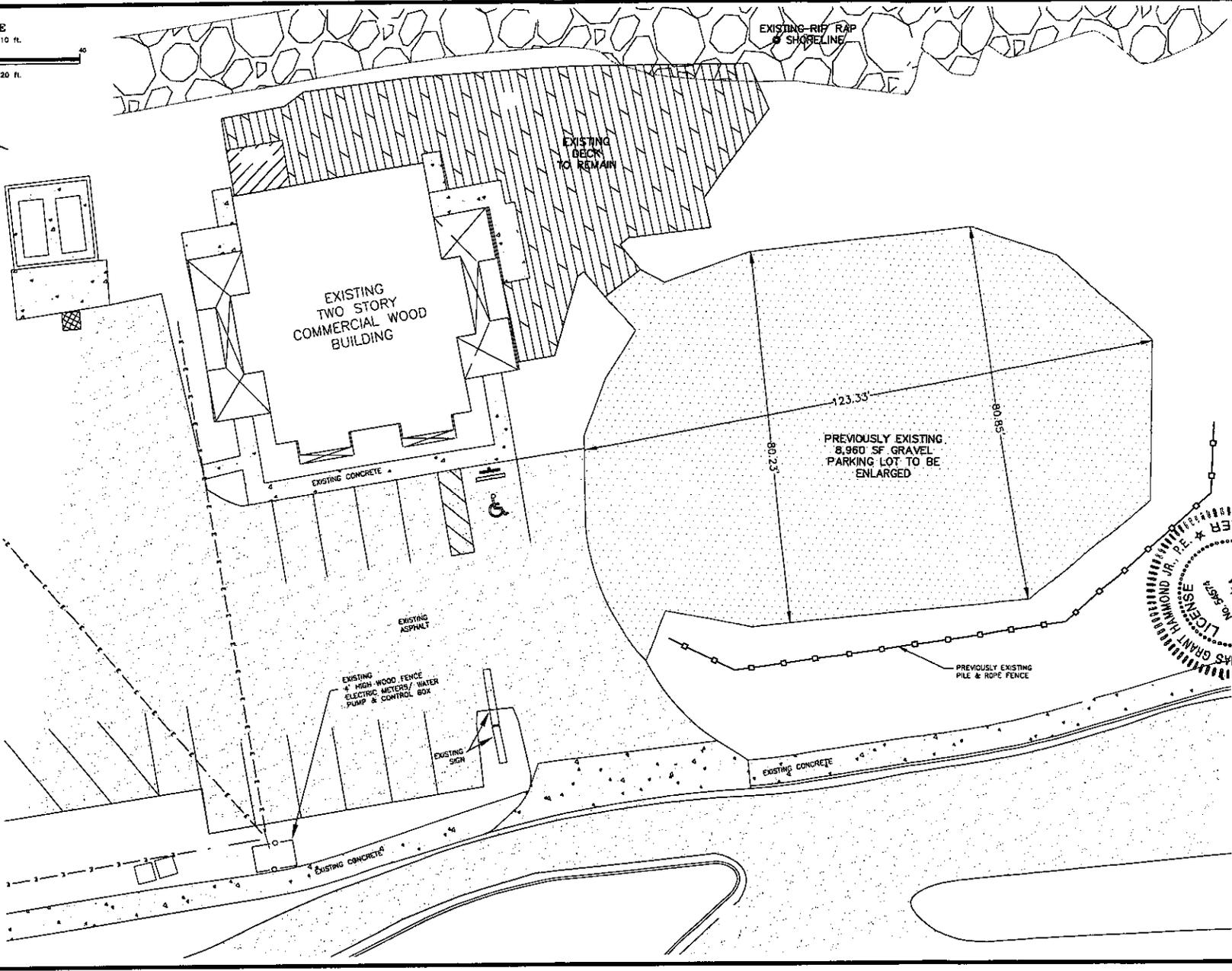


NO.	DATE	REVISIONS

C1

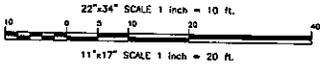


- LEGEND:**
- DENOTES EXISTING ASPHALT TO REMAIN
 - DENOTES EXISTING CONCRETE TO REMAIN
 - DENOTES EXISTING RIP RAP TO REMAIN
 - DENOTES EXISTING GRAVEL TO REMAIN
 - DENOTES EXISTING DECK TO REMAIN
 - WATER METER
 - TELEPHONE RISER
 - POWER POLE
 - CONTROL VALVE
 - FLAG POLE
 - BACK FLOW PREVENTER
 - LIGHT POLE
 - OVERHEAD ELECTRIC



DRAWN BY: BLS REFERRED BY: BLS CHECKED BY: BLS DATE: 04-23-2018 SCALE: AS SHOWN NOT RELEASED FOR DISTRIBUTION	PROJECT NO: 18-010 SHEET: C2	DATE: _____ NO. _____ REVISION: _____
SITE DEVELOPMENT PLAN FOR BRIDGE BAR PARKING LOT PRE-IMPROVEMENT PLAN CITY OF GULF BREEZE, FLORIDA	BARRON ENGINEERING, INC. FLORIDA AUTHORIZATION NO. 9130 LABAMA AUTHORIZATION NO. 3277 3802 NORTH 15 STREET PENSACOLA, FL 32505 850 434-2603 850 434-2603 TOM@BELLANDESIGN.COM	THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL DESIGN SERVICES PROVIDED BY HIMSELF OR HIS FIRM.

GRAPHIC SCALE



BENCHMARK/TOPOGRAPHY NOTE:
THE ELEVATIONS AND BENCHMARKS FOUND ON THIS PLAN ARE ASSUMED AND ARE NOT TIED TO NAVD DATUM.

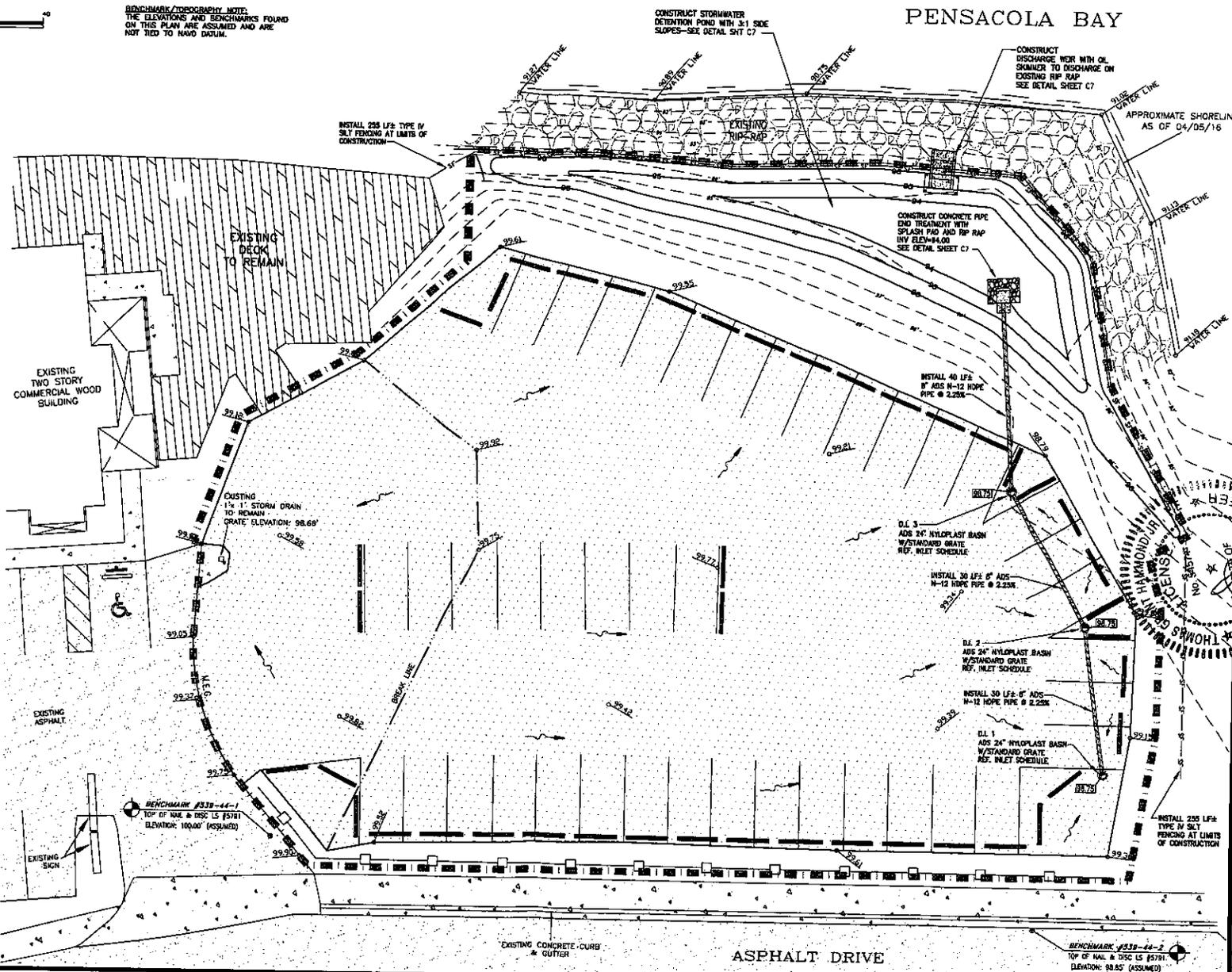
PENSACOLA BAY

LEGEND:

- DENOTES EXISTING ASPHALT TO REMAIN
- DENOTES EXISTING CONCRETE TO REMAIN
- DENOTES EXISTING RIP RAP TO REMAIN
- DENOTES EXISTING GRAVEL TO REMAIN
- DENOTES EXISTING DECK TO REMAIN
- DENOTES LIMITS OF CONSTRUCTION
- DENOTES PROPOSED THICK ROADWAY TIE
- DENOTES TRIMMER PALE AND POPE FENCING
- DENOTES TYPE IV SILT FENCING
- M.E.G. - MATCH EXISTING GRADE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED STORM PIPE
- DENOTES PROPOSED NYLOPLAST DRAIN BASIN

DRAIN INLET SCHEDULE

D.I. 1	24" NYLOPLAST DRAIN BASIN WITH 24" STANDARD GRATE TOP ELEV = 98.75 INV OUT (W) = 96.25 BOTTOM ELEV = 95.75
D.I. 2	24" NYLOPLAST DRAIN BASIN WITH 24" STANDARD GRATE TOP ELEV = 98.75 INV IN (S) = 95.57 INV OUT (SW) = 95.57 BOTTOM ELEV = 95.07
D.I. 3	24" NYLOPLAST DRAIN BASIN WITH 24" STANDARD GRATE TOP ELEV = 98.75 INV IN (NE) = 94.89 INV OUT (W) = 94.29 BOTTOM ELEV = 94.39



HE

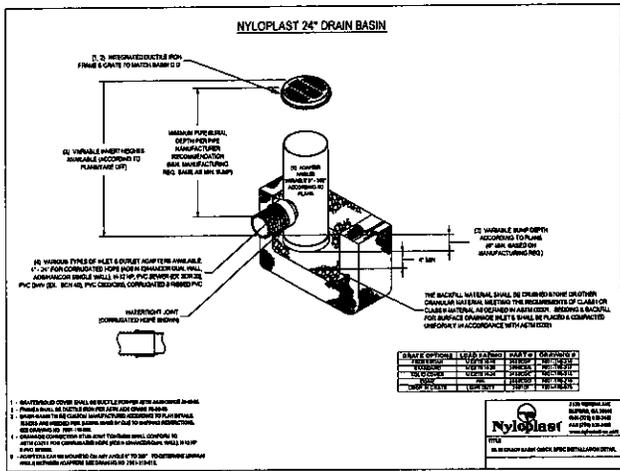
HARRISON ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 32797
3802 NORTH 'S' STREET
PENSACOLA, FLORIDA 32505
FAX: 904-434-2603
TEL: 904-434-2650
TEL@BELANDDESIGN.COM

SITE DEVELOPMENT PLANS FOR BRIDGE BAR PARKING LOT GRADING PLAN

CITY OF GULF BREEZE FLORIDA

PROJECT NO: 14-013
SHEET: **C5**

DATE: _____
BY: _____
CHECKED BY: _____
DATE: 04-22-2014
DESIGNED BY: _____
DATE: 04-22-2014
NOT RELEASED FOR CONSTRUCTION



Digested Surface Drainage Products

GENERAL

PVC surface drainage inlets shall include the drain basin top as indicated on the contract drawing and referenced with the contract specifications. The drain basin cover for each of these fittings are to be assembled as integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc. or other approved equal.

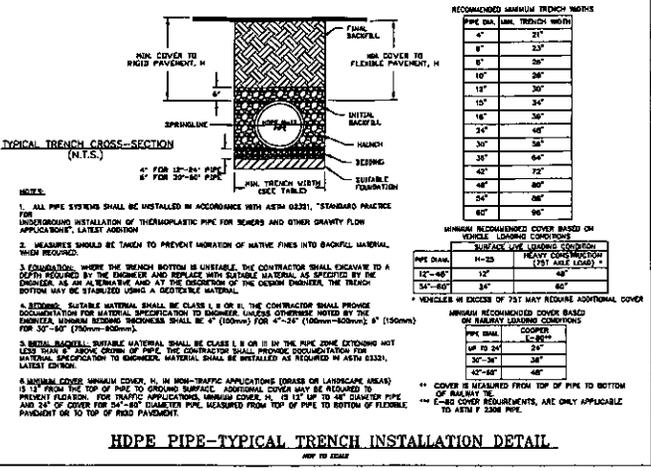
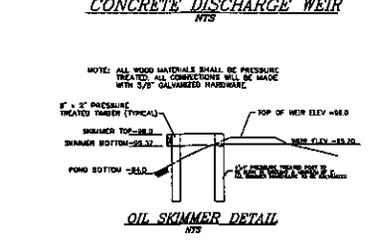
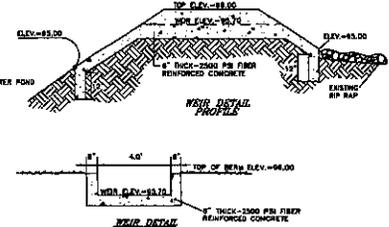
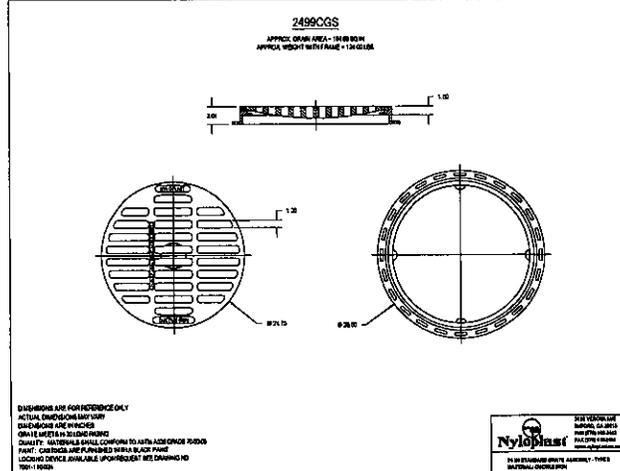
MATERIALS

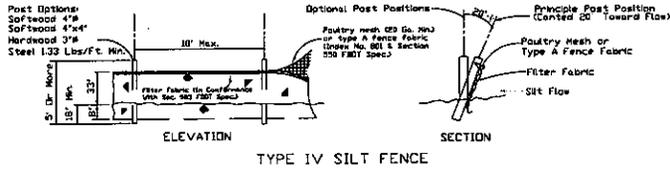
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermforming process to reform the pipe stock to the specified configuration. The drainage pipe connection shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. The joint gaskets shall conform to ASTM D2322, the drain, the drain, and down, shall be made of polyethylene, the flexible interlocking drain shall conform to ASTM D2322. The pipe shall be joined to the main body of the drain basin. The main container used to manufacture the pipe stock shall be used to manufacture the main body and pipe of the surface drainage inlets shall conform to ASTM D2322 and ASTM D2322.

The gaskets and frames furnished for all surface drainage inlets shall be suitable for use with 12", 15", 18", 24" and 30" and shall be made specifically for each basin so as to provide a tight bottom flange that firmly maintains the diameter of the surface drainage inlet. Gaskets for each basin shall be capable of supporting surface water loads as specified by AASHTO 12" and 15" means gaskets will be shipped in the flexible using pipe. Gaskets for use in the manufacture of the castings shall conform to ASTM D2322 gaskets 12"-15". Gaskets and covers shall be provided painted black.

INSTALLATION

The specified PVC surface drainage inlet shall be installed using conventional flexible pipe bench methods and procedures. The specified material shall be installed where or other greater material meeting the requirements of these 1) or other 2) material as specified by ASTM D2322. Working and handling for surface drainage inlets shall be used placed and supported uniformly in accordance with ASTM D2322. The drain basin body will be set at the time of the final grade. No brick, stone or concrete block will be required for set the grade in the final grade height. For final installation, a concrete slab shall be poured under and around the basin and frame. The concrete slab must be finished using the conventional hand and trowel, curing, and other applicable finish. For other finishing considerations such as inspection of final grade, water, and soil transmission refer to ASTM D2322 guidelines.

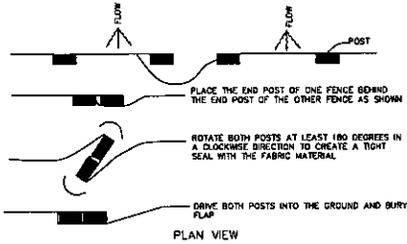




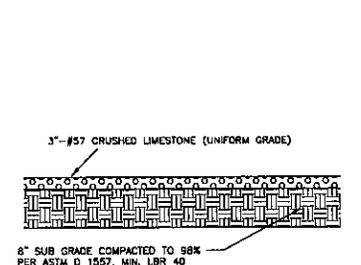
TYPE IV SILT FENCE

NOTES FOR SILT FENCES:

1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1 (FOOT INDEX 102)
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FULL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON ITS LONGITUDINAL GRADE TO AVOID CHANNELING RUNOFF ALONG THE LENGTH OF THE FENCE.

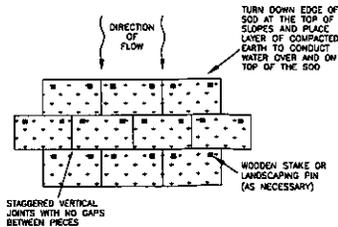


JOINING TWO SILT FENCES
NTS



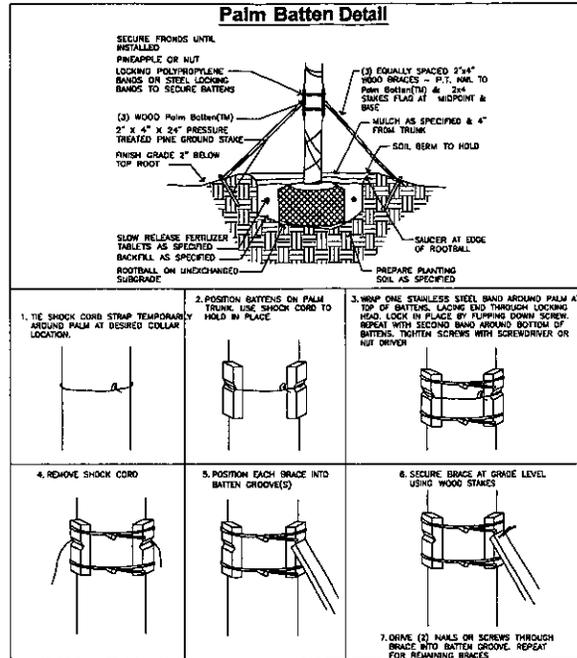
TYPICAL GRAVEL PARKING LOT SECTION
NTS

NOTE: FINISHED SURFACE MUST WITHSTAND A MINIMUM OF 40 TONS

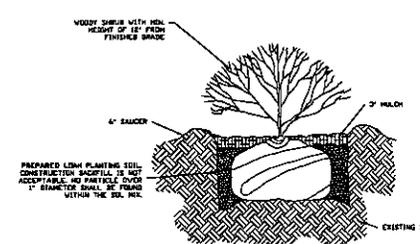


SODDING DETAIL
NOT TO SCALE

- NOTES:
1. PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG SIDE PERPENDICULAR TO DIRECTION OF FLOW.
 2. SOD SHALL BE STAKED ON ALL SLOPES 4:1 OR STEEPER IN ANY AREA OF CONCENTRATED DOWNSPREAD FLOWS AND APPROPRIATE THAT THERE IS DANGER OF SOD SLIPPING.



SHRUB PLANTING DETAIL
NTS



PROJECT NO. 14-010
 SHEET: C8
 DATE: 01/15/14
 SCALE: AS SHOWN
 CHECKED BY: TBN
 DESIGNED BY: BLS
 DRAWN BY: BLS
 NOT RELEASED FOR CONSTRUCTION
 CITY OF GULF BREEZE, FLORIDA
 CONSTRUCTION DETAILS
 BRIDGE BAR PARKING LOT
 SITE DEVELOPMENT PLAN FOR
 LICENSED PROFESSIONAL ENGINEER
 GRANVILLE HAMMOND JR., P.E.
 HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 FLORIDA AUTHORIZATION NO. 3277
 3802 NORTH 8TH STREET
 PENSACOLA, FLORIDA 32503
 TEL: 904-434-2650
 FAX: 904-434-2650
 TBN@BELANDESIGN.COM

GENERAL NOTES:

- CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTIPEDE, PENNSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
- WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
- AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DIGGING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
- TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
- THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
- ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNIFORM COMPACTION.
- CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRAING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING UNTIL ACCEPTANCE BY THE OWNER IN THE BID.
- CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN DETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXHAUSTED POND FROM BLINDING DUE TO SEDIMENTS.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING PIPING, DRAINAGE STRUCTURES, TOP OF PONDS(S), ELEVATIONS, GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE CITY OF GULF BREEZE INSPECTIONS OFFICE (850-934-5109) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BUREAU, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
- EROSION SHALL BE CONTROLLED BY THE USE OF A SILT FENCE BARRIER AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W (IF APPLICABLE).
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE CITY OF GULF BREEZE. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING FINAL APPROVAL.
- ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCES, HAY BALES, ETC.) AS NECESSARY.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE CITY OF GULF BREEZE.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.

FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 6 (SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF THE CITY OF GULF BREEZE, FLORIDA, COMMUNITY 120275, FIRM MAP PANEL NUMBER 12113C06066, MAP REVISION DATED DECEMBER 19, 2006.

FLOOD ZONE(S)	NFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
AE	120275	12113C	0606	G	DECEMBER 19, 2006

SIGNAGE:

ANY SIGN OR SIGNS MAY BE DISPLAYED IF THEY PERTAIN EXCLUSIVELY TO THE BUSINESS CARRIED ON WITHIN THE BUILDING OR ON THE PREMISES OF THE BUSINESS WHICH DESIGNATES A BUSINESS AREA OR SECTION. SIGNS ATTACHED TO A BUILDING SHALL NOT BE GREATER IN TOTAL AREA THAN TEN PERCENT OF THE FRONTAGE AREA OF THE FIRST FLOOR OF THE BUILDING WITH AN ADDITIONAL FIVE PERCENT BEING AVAILABLE FOR USE BY COMMERCIAL BUSINESSES FOR A SIGN OF THE READERBOARD TYPE. FREESTANDING SIGNAGE SHALL NOT EXCEED MORE THAN 50 SQUARE FEET (100 SQUARE FEET INCLUDING BOTH SIDES OF SIGN) WITH AN ADDITIONAL 25 SQUARE FEET (50 SF INCLUDING BOTH SIDES) FOR USE BY THAT BUSINESS FOR A SIGN OF THE READERBOARD TYPE. IF A READERBOARD IS USED, IT MUST BE ATTACHED TO THE SAME POLE AS THE PRINCIPAL FREESTANDING SIGN. NO SIGN SHALL EXTEND MORE THAN 35 FEET ABOVE GRADE. NO SIGNS SHALL BE ERRECTED IN THE RIGHT OF WAY.

A SEPARATE PERMIT IS REQUIRED FOR SIGNAGE. NO NEW SIGNAGE PROPOSED AS PART OF THIS PROJECT.

JURISDICTIONAL CONTACTS:

CITY OF GULF BREEZE DEVELOPMENT SERVICE
 1070 SHORELINE DR.
 GULF BREEZE, FL 32561
 PHONE NO.: (850)-934-5109
 FAX NO.: (850)-934-5114

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
 180 E. REDSTONE AVENUE
 CRESTVIEW, FL 32539
 PHONE NO.: (850)-683-5044
 FAX NO.: (850)-683-5050

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
 160 W. GOVERNMENT STREET, SUITE 308
 PENSACOLA, FL 32502
 PHONE NO.: (850)-595-8300
 FAX NO.: (850)-595-8417

PROJECT DIRECTORY:

CIVIL ENGINEER
 HAMMOND ENGINEERING, INC.
 3802 NORTH 'S' ST.
 PENSACOLA, FL 32505
 PHONE NO.: (850)-434-2603
 FAX NO.: (850)-434-2650

SURVEYOR
 RUBEN SURVEY & MAPPING
 1179 GULF BREEZE PKWY.
 GULF BREEZE, FL 32564
 PHONE NO.: (850)-916-7382
 FAX NO.: (850)-916-7275

NO.	DATE	REVISIONS
1.	05/19/16	REVISED PLANS TO INCLUDE LANDSCAPE ISLANDS & APPLICABLE PLANTINGS AS PER CITY OF GULF BREEZE

SITE DEVELOPMENT PLANS FOR THE BRIDGE BAR PARKING LOT

SECTION 05, TOWNSHIP 3 SOUTH, RANGE 29 WEST
SANTA ROSA COUNTY, FLORIDA

33 GULF BREEZE PARKWAY
GULF BREEZE, FL 32561

OWNER/DEVELOPER:
NORTHERN HORIZONS LLC
MR. NICK WHEATLEY
PO BOX 1144
GULF BREEZE, FL 32562
(850)-450-0214

PROPERTY ID NO.: 05-3S-29-0000-00108-0000
 ZONING DESIGNATION: C1 - COMMERCIAL
 ADJACENT ZONING: C1 - COMMERCIAL
 FLU DESIGNATION: C
 ADJACENT FLU: C/PR

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ PRE-IMPROVEMENT PLAN
- C3 ~ EXISTING CONDITIONS
- C4 ~ POST-IMPROVEMENT PLAN
- C5 ~ GRADING PLAN
- C6 ~ LANDSCAPING PLAN
- C7 ~ CONSTRUCTION DETAILS
- C8 ~ CONSTRUCTION DETAILS



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REVISED MAY 19, 2016

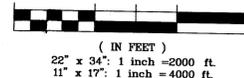
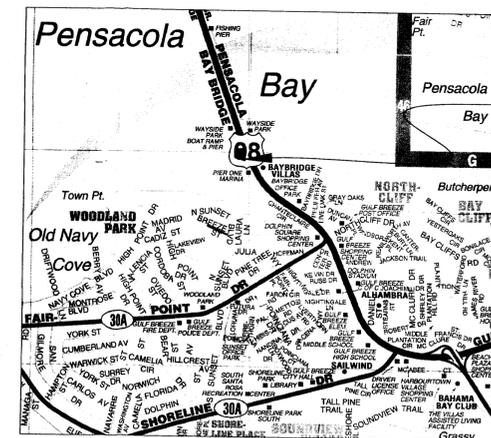
HEI PROJECT #: 16-024

GENERAL NOTES CONTINUED...

- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO TREES THAT ARE TO REMAIN (IF APPLICABLE).
- CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0319) AND LOCAL (SANTA ROSA COUNTY HEALTH DEPT. 850-983-5200) AGENCIES.
- SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
- CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
- CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
- CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #45 ABOVE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
- ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT CITY OF GULF BREEZE, FDEP, AND NFWMD STANDARDS AND REQUIREMENTS.
- "AS-BUILT" RECORD DRAWINGS SHALL BE PROVIDED TO THE CITY OF GULF BREEZE POST-CONSTRUCTION FOR VERIFICATION AND APPROVAL PRIOR TO REQUESTING A FINAL INSPECTION AND APPROVAL. IN LIEU OF THE AS-BUILT DRAWINGS, AN "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS MAY BE PROVIDED. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

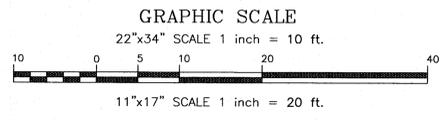


PROJECT LOCATION

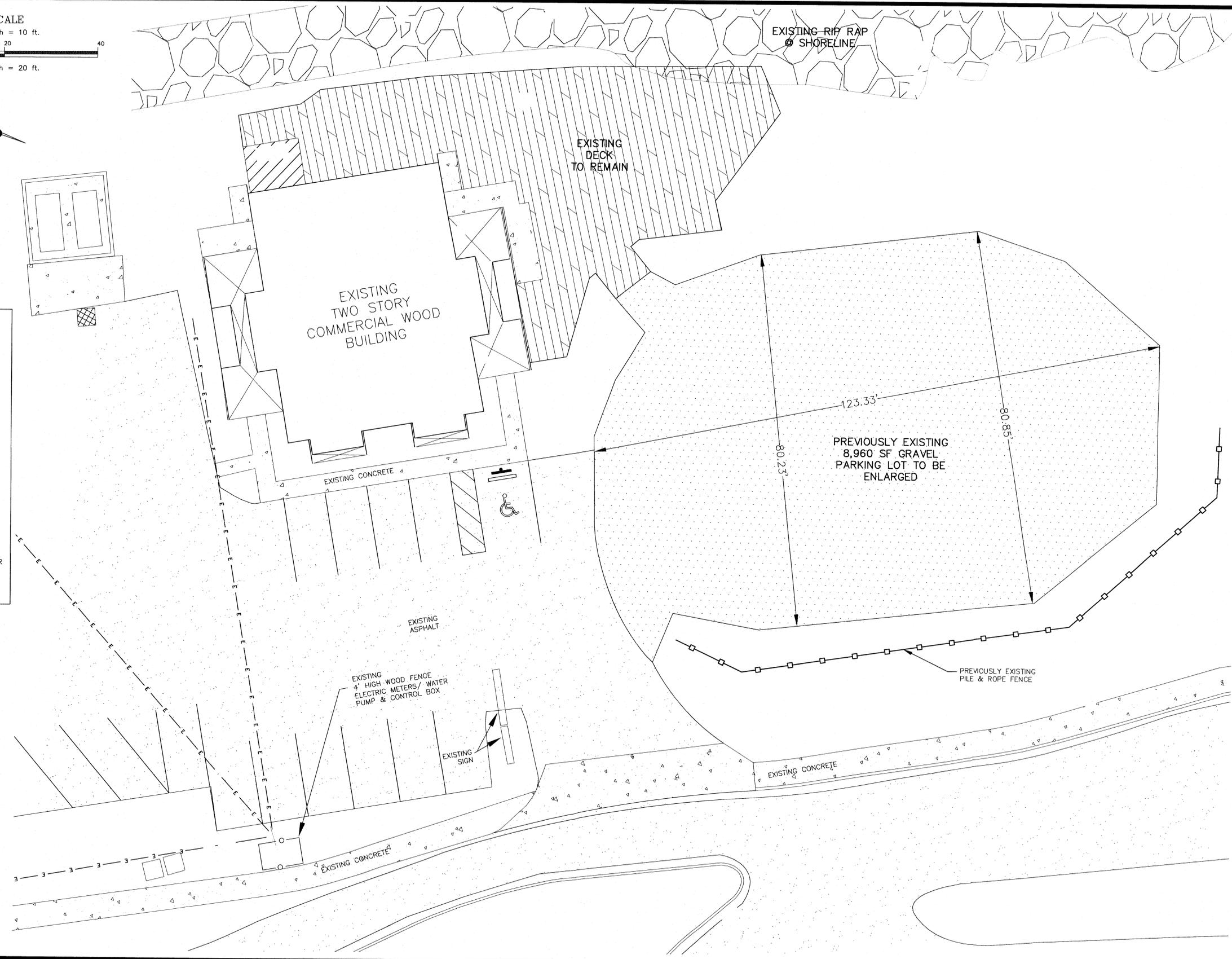


VICINITY MAP GRAPHIC SCALE

SHEET C1



- LEGEND:**
- DENOTES EXISTING ASPHALT TO REMAIN
 - DENOTES EXISTING CONCRETE TO REMAIN
 - DENOTES EXISTING RIP RAP TO REMAIN
 - DENOTES EXISTING GRAVEL TO REMAIN
 - DENOTES EXISTING DECK TO REMAIN
 - WATER METER
 - TELEPHONE RISER
 - POWER POLE
 - CONTROL VALVE
 - FLAG POLE
 - BACK FLOW PREVENTER
 - LIGHT POLE
 - OVERHEAD ELECTRIC



<p>REVISIONS</p> <p>NO. 1. DATE 05/19/16</p> <p>REVISED PLANS TO INCLUDE LANDSCAPE ISLANDS & APPLICABLE PLANNING AS PER CITY OF GULF BREEZE</p>	
<p>THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.</p>	
<p>HAMMOND ENGINEERING, INC. FLORIDA AUTHORIZATION NO. 9130 ALABAMA AUTHORIZATION NO. 3277 3802 NORTH 5TH STREET PENSACOLA, FLORIDA 32505 850 434-2603 FAX 850-434-2650 TOM@SELANDDESIGN.COM</p>	
<p>SITE DEVELOPMENT PLANS FOR BRIDGE BAR PARKING LOT PRE-IMPROVEMENT PLAN CITY OF GULF BREEZE FLORIDA</p>	
<p>DRAWN BY: PRH</p> <p>CHECKED BY: TGH</p> <p>DATE: 04-20-2016</p> <p>SCALE: AS SHOWN</p> <p>NOT RELEASED FOR CONSTRUCTION</p> <p>BY: _____</p>	<p>PROJECT NO: 16-010</p> <p>SHEET: 02</p>

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.



11"x17" SCALE 1 inch = 20 ft.

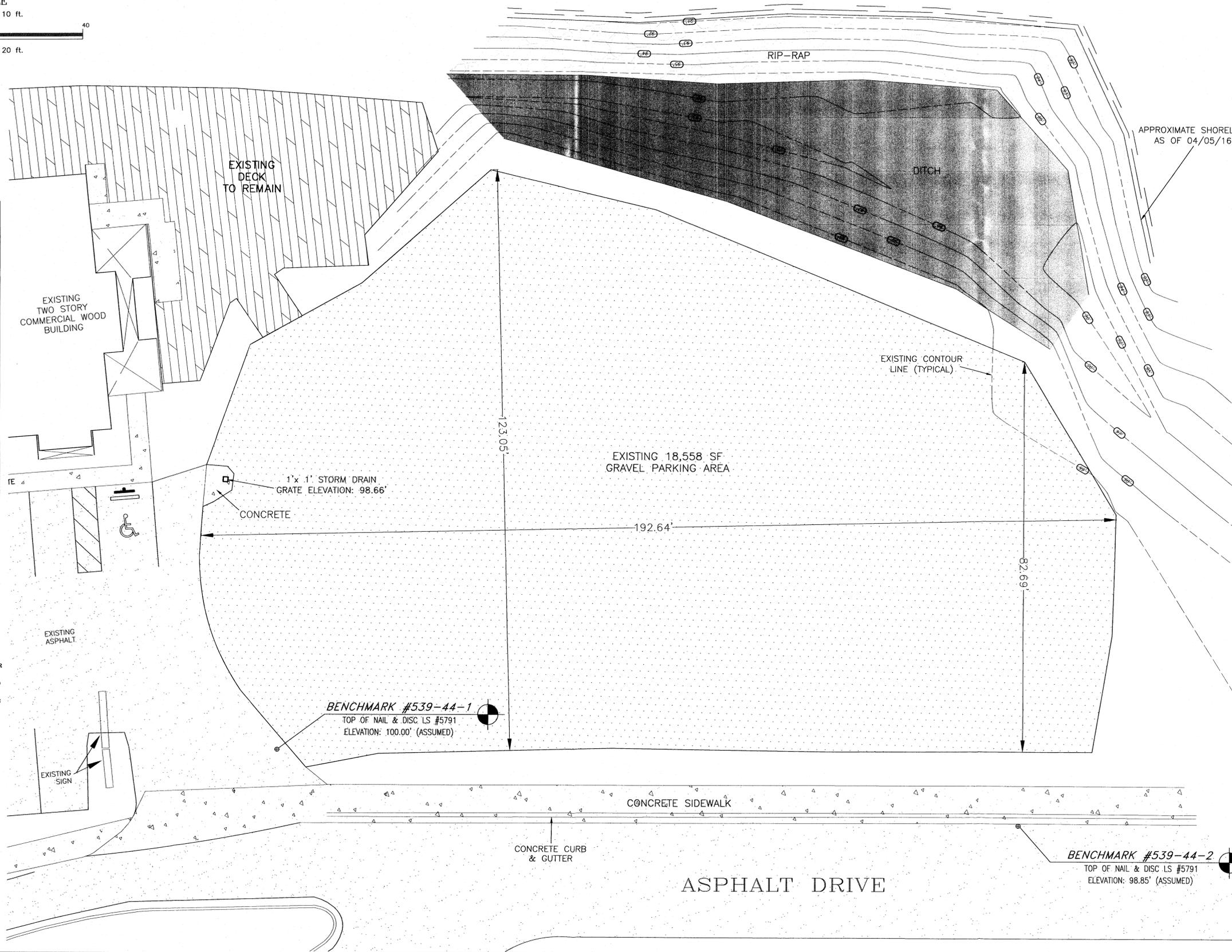


LEGEND:

- DENOTES EXISTING ASPHALT TO REMAIN
- DENOTES EXISTING CONCRETE TO REMAIN
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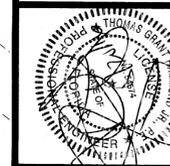
SURVEYOR NOTES:

1. NORTH AS SHOWN HEREON IS REFERENCED TO AN ASSUMED DATUM.
2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
3. NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, STATE AND/OR FEDERAL JURISDICTIONAL AREAS RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS THAT COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
4. THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO EXISTING FIELD MONUMENTATION.
5. STATE AND FEDERAL COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED EITHER IN WHOLE OR IN PART, OR TO BE USED FOR ANY OTHER FINANCIAL TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER.
6. IN ACCORDANCE WITH STATE OF FLORIDA ADMINISTRATIVE CODE, ANY ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING SURVEYOR AND MAPPER IS PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE SIGNING SURVEYOR AND MAPPER.
7. THE STRUCTURE DIMENSIONS IF ANY DO NOT INCLUDE THE EAVES OR OVERHANG OR THE FOUNDATION FOOTINGS.
8. THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO AN ASSUMED DATUM.



NO.	DATE	REVISIONS
1	05/19/16	REVISED PLANS TO REFLECT PROPOSED CHANGES TO APPLICABLE PLANTINGS AS PER CITY OF GULF BREEZE

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 FAX 850-434-2650
 TOM@BELANDESIGN.COM

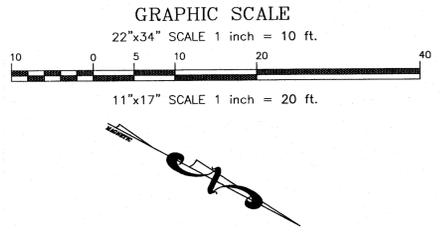


SITE DEVELOPMENT PLANS FOR BRIDGE BAR PARKING LOT EXISTING CONDITIONS
 CITY OF GULF BREEZE FLORIDA

DRAWN BY: PRH	CHECKED BY: TGH	DATE: 04-20-2016
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION	BY: DATE:

PROJECT NO: 16-010
 SHEET: C3

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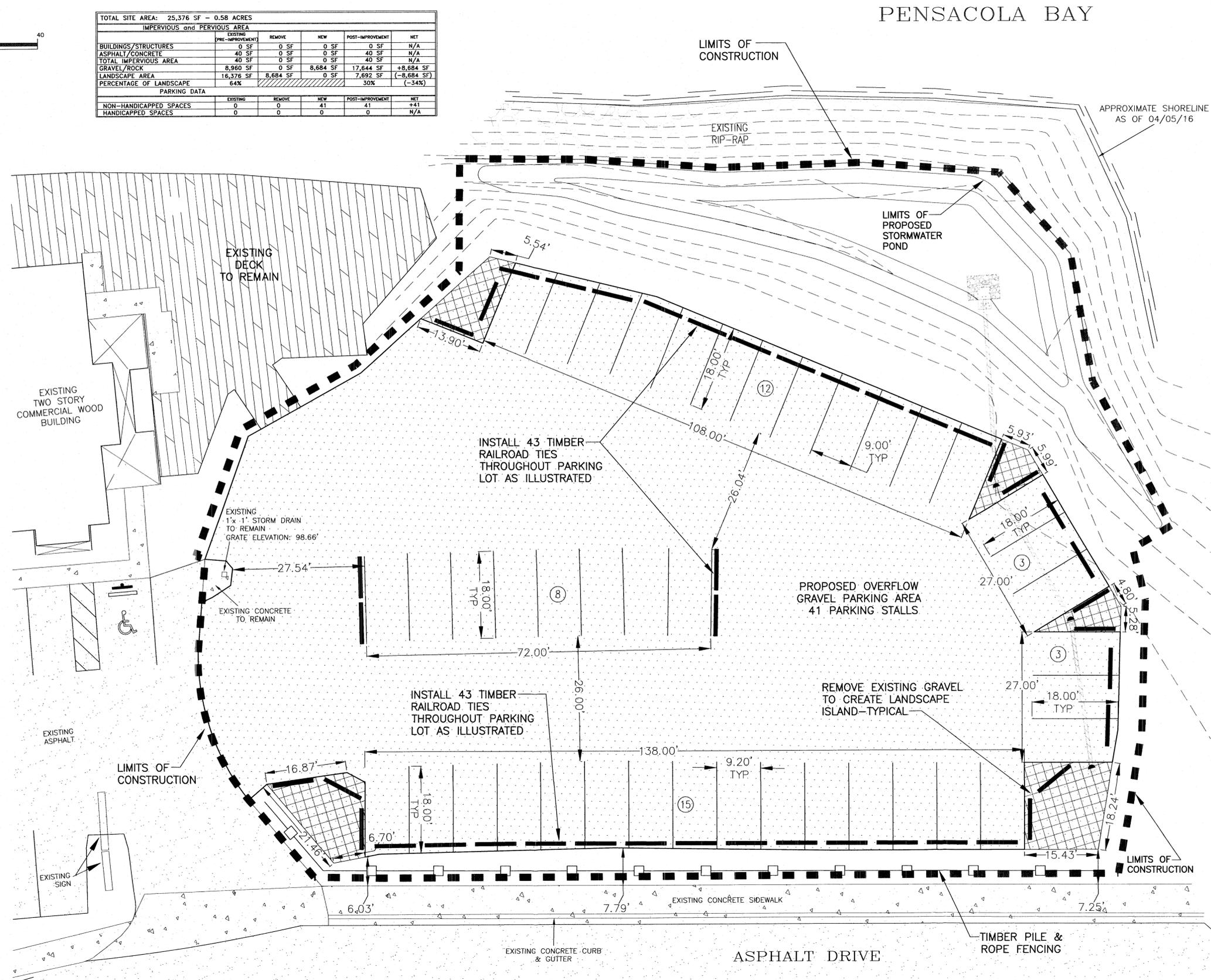


TOTAL SITE AREA: 25,376 SF - 0.58 ACRES
 IMPERVIOUS and PERVIOUS AREA

	EXISTING	REMOVE	NEW	POST-IMPROVEMENT	NET
BUILDINGS/STRUCTURES	0 SF	0 SF	0 SF	0 SF	N/A
ASPHALT/CONCRETE	40 SF	0 SF	0 SF	40 SF	N/A
TOTAL IMPERVIOUS AREA	40 SF	0 SF	0 SF	40 SF	N/A
GRAVEL/ROCK	8,960 SF	0 SF	8,684 SF	17,644 SF	+8,684 SF
LANDSCAPE AREA	16,376 SF	8,684 SF	0 SF	7,692 SF	(-8,684 SF)
PERCENTAGE OF LANDSCAPE	64%			30%	(-34%)

	EXISTING	REMOVE	NEW	POST-IMPROVEMENT	NET
NON-HANDICAPPED SPACES	0	0	41	41	+41
HANDICAPPED SPACES	0	0	0	0	N/A

- LEGEND:**
- DENOTES EXISTING ASPHALT TO REMAIN
 - DENOTES EXISTING CONCRETE TO REMAIN
 - DENOTES EXISTING RIP RAP TO REMAIN
 - DENOTES EXISTING GRAVEL TO REMAIN
 - DENOTES EXISTING GRAVEL TO BE REMOVED
 - DENOTES EXISTING DECK TO REMAIN
 - DENOTES LIMITS OF CONSTRUCTION
 - DENOTES PROPOSED TIMBER RAILROAD TIE
 - DENOTES TIMBER PILE AND ROPE FENCING
 - DENOTES QUANTITY OF PARKING STALLS PER ROW

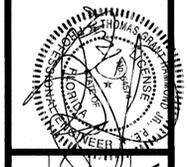


PENSACOLA BAY

REVISIONS

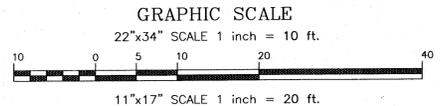
NO.	DATE	DESCRIPTION
1.	05/19/16	REVISED PLANS TO INCLUDE LANDSCAPE ISLANDS & APPLICABLE FINISHES AS PER CITY OF GULF BREEZE

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9150
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 5TH STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@BELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR
BRIDGE BAR PARKING LOT
POST-IMPROVEMENT PLAN
CITY OF GULF BREEZE FLORIDA

DRAWN BY: PRH
 DESIGNED BY: RLB
 CHECKED BY: TGH
 DATE: 04-20-2016
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: _____
 DATE: _____
 PROJECT NO: 16-010
 SHEET: **C4**



BENCHMARK/TOPOGRAPHY NOTE:
 THE ELEVATIONS AND BENCHMARKS FOUND ON THIS PLAN ARE ASSUMED AND ARE NOT TIED TO NAVD DATUM.

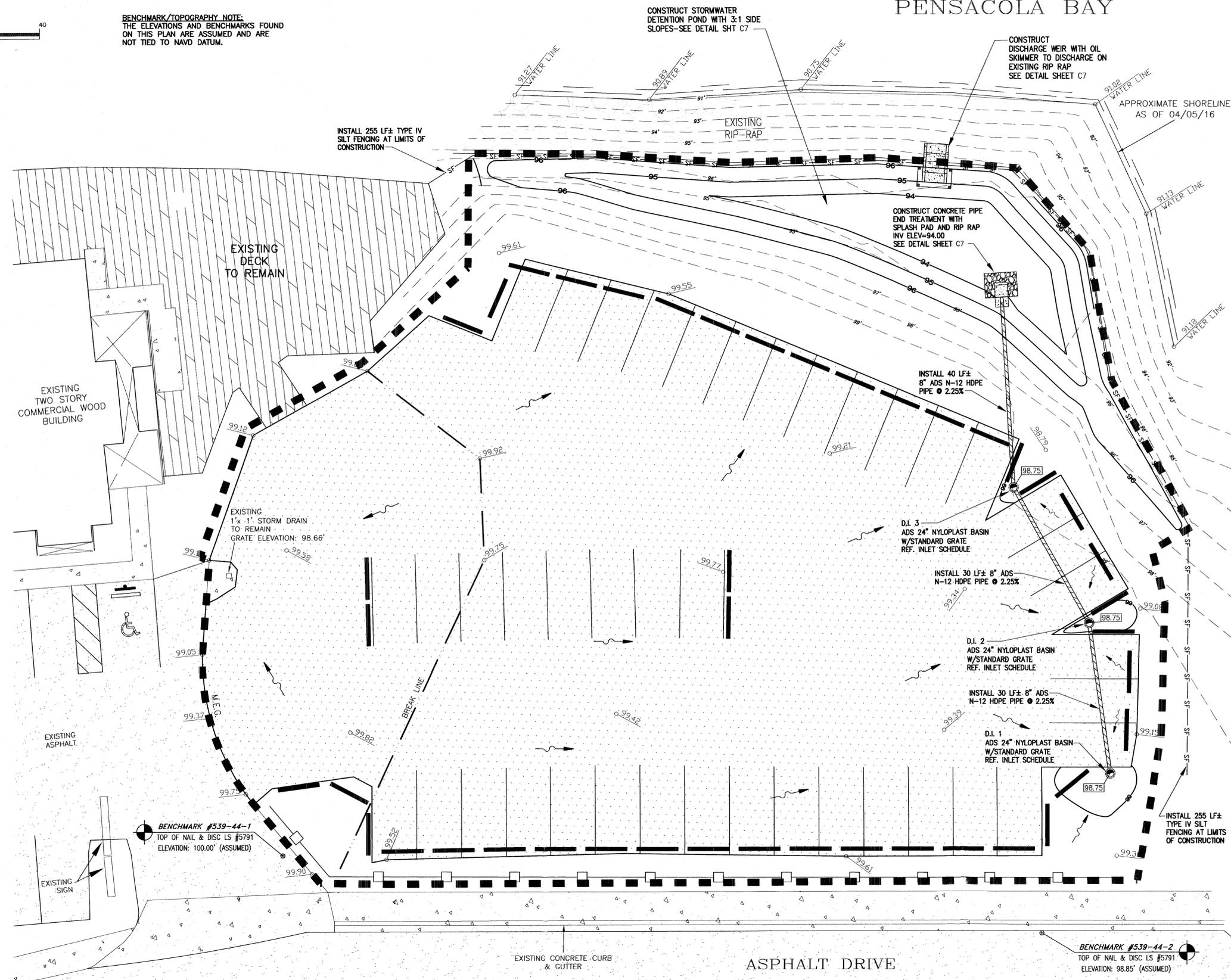
PENSACOLA BAY

LEGEND:

	DENOTES EXISTING ASPHALT TO REMAIN
	DENOTES EXISTING CONCRETE TO REMAIN
	DENOTES EXISTING RIP RAP TO REMAIN
	DENOTES EXISTING GRAVEL TO REMAIN
	DENOTES EXISTING DECK TO REMAIN
	DENOTES LIMITS OF CONSTRUCTION
	DENOTES PROPOSED TIMBER RAILROAD TIE
	DENOTES TIMBER PILE AND ROPE FENCING
	DENOTES TYPE IV SILT FENCING
	M.E.G. - MATCH EXISTING GRADE
	DENOTES PROPOSED SPOT ELEVATION
	DENOTES EXISTING SPOT ELEVATION
	DENOTES PROPOSED STORM PIPE
	DENOTES PROPOSED NYLOPLAST DRAIN BASIN

DRAIN INLET SCHEDULE

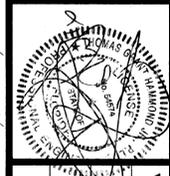
D.I. 1 24" NYLOPLAST DRAIN BASIN WITH 24" STANDARD GRATE TOP ELEV = 98.75 INV OUT (W) = 96.25 BOTTOM ELEV = 95.75
D.I. 2 24" NYLOPLAST DRAIN BASIN WITH 24" STANDARD GRATE TOP ELEV = 98.75 INV IN (E) = 95.57 INV OUT (SW) = 95.57 BOTTOM ELEV = 95.07
D.I. 3 24" NYLOPLAST DRAIN BASIN WITH 24" STANDARD GRATE TOP ELEV = 98.75 INV IN (NE) = 94.89 INV OUT (W) = 94.89 BOTTOM ELEV = 94.39



REVISIONS

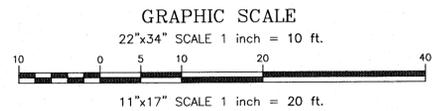
NO.	DATE	DESCRIPTION
1.	05/19/16	REVISED PLANS TO INCLUDE LANDSCAPE ISLANDS & APPLICABLE PLANTINGS AS PER CITY OF GULF BREEZE

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 9277
 3802 NORTH 'S' STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR
BRIDGE BAR PARKING LOT
GRADING PLAN
CITY OF GULF BREEZE FLORIDA

DRAWN BY: FRH	DESIGNED BY: RLS	CHECKED BY: TSH	DATE: 04-20-2016	SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION	BY:	DATE:	
PROJECT NO: 16-010							SHEET: C5	



LEGEND:

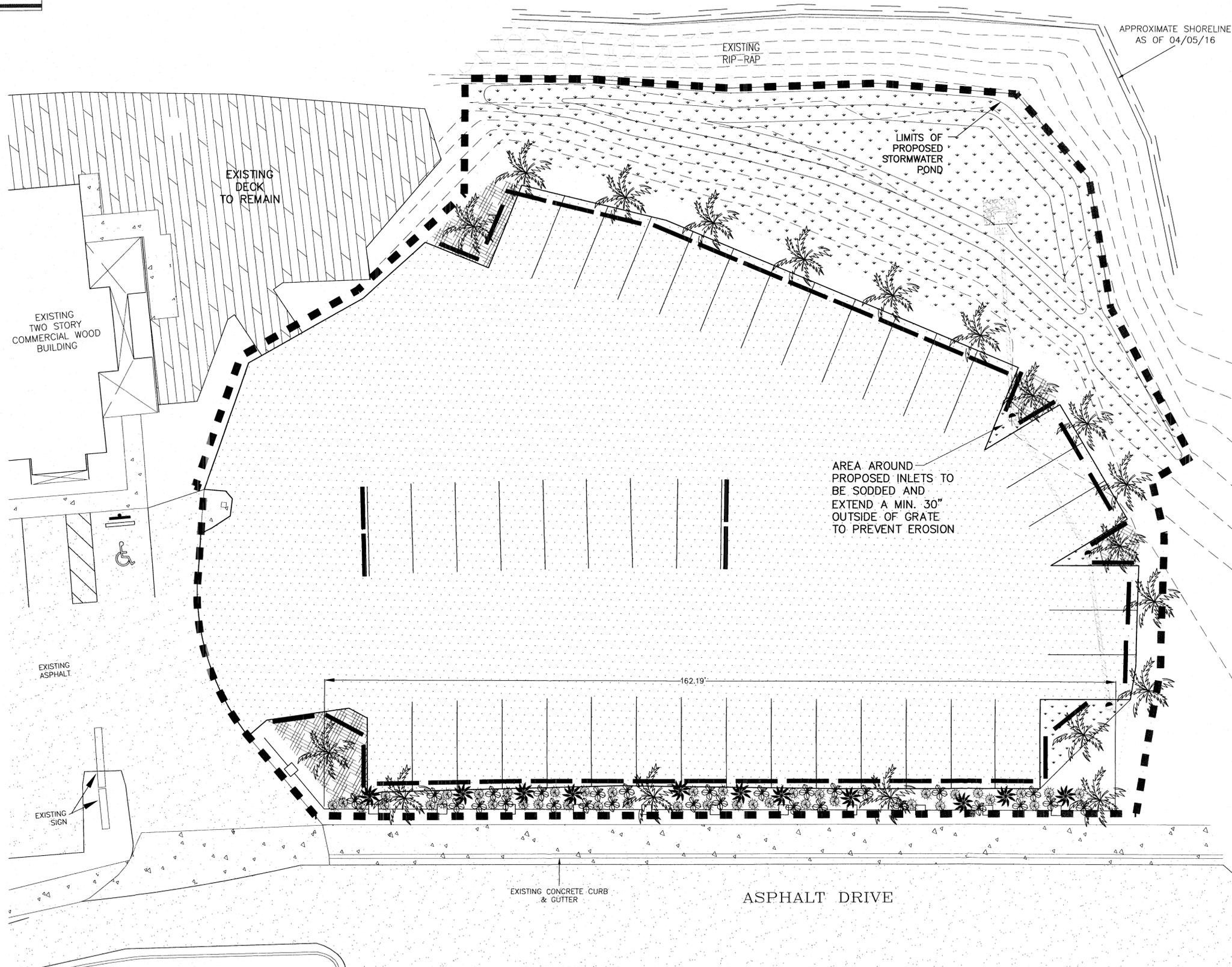
	DENOTES EXISTING ASPHALT TO REMAIN
	DENOTES EXISTING CONCRETE TO REMAIN
	DENOTES EXISTING RIP RAP TO REMAIN
	DENOTES EXISTING GRAVEL TO REMAIN
	DENOTES EXISTING DECK TO REMAIN
	DENOTES PROPOSED SOD (SOD TO BE PINNED ON 4:1 OR GREATER SLOPES)
	DENOTES PROPOSED CYPRESS MULCH WITH UNDERLYING WEED FABRIC
	DENOTES PROPOSED TIMBER RAILROAD TIE
	DENOTES TIMBER PILE AND ROPE FENCING
	DENOTES PROPOSED SABAL PALM TYP. OF 19
	DENOTES PROPOSED SILVER THATCH TYP. OF 11
	DENOTES PROPOSED LEMON GRASS TYP. OF 40
	DENOTES PROPOSED ELEPHANT EARS TYP. OF 28

REQUIRED LANDSCAPE PLANTING DATA

EASTERN BOUNDARY LINE: AS PER SEC 24-135-2 CITY OF GULF BREEZE LAND DEVELOPMENT CODE: OFF STREET PARKING ADJACENT TO THE RIGHT-OF-WAY SHALL PROVIDE ONE TREE FOR EACH 50 LINEAR FEET AS WELL AS AN OPAQUE SCREEN OF LANDSCAPING AT LEAST THREE FEET IN HEIGHT: 165'± R/W BUFFER/50 ~ 4 TREES REQUIRED
 4 SABAL PALMS PROPOSED
 LANDSCAPE STRIP TO INCLUDE LEMON GRASS, SILVER THATCH & ELEPHANT EARS PROVIDING REQUIRED OPAQUE SCREEN
 11 SILVER THATCH, 40 LEMON GRASS & 28 ELEPHANT EARS PROPOSED

INTERIOR PARKING LOT: TOTAL OF 6,642 SF PARKING SPACES + 11,002 SF ACCESS AISLES PROPOSED. MINIMUM OF 552 SF LANDSCAPE AREA REQUIRED. FIVE (5) INTERIOR LANDSCAPE ISLANDS TOTALING 914 SF IN AREA PROPOSED. EACH ISLAND SHALL CONTAIN AT LEAST ONE TREE (1 SABAL PALM PROPOSED PER ISLAND) AND A TREE SHALL BE PLANTED FOR EACH 100 SF, OR FRACTION THEREOF, OF INTERIOR LANDSCAPING:
 1 TREE REQUIRED PER LANDSCAPE ISLAND + 914 SF INTERIOR LANDSCAPE AREA/100 ~ 10 TREES REQUIRED
 TOTAL OF 15 TREES REQUIRED
 15 SABAL PALMS PROPOSED

LANDSCAPING AREA:
 AS PER SEC 24-128 CITY OF GULF BREEZE LAND DEVELOPMENT CODE: A MINIMUM OF FIVE PERCENT OF TOTAL PARCEL AREA MUST BE DEDICATED TO LANDSCAPE AREA
 LIMITS OF CONSTRUCTION = 25,376 SF
 .05 * 25,376 = 1,269 SF REQUIRED
 1,100 SF PERIMETER LANDSCAPING + 677 SF RIGHT OF WAY BUFFER + 914 SF LANDSCAPE ISLANDS = 2,691 SF LANDSCAPE AREA



NO.	DATE	REVISIONS
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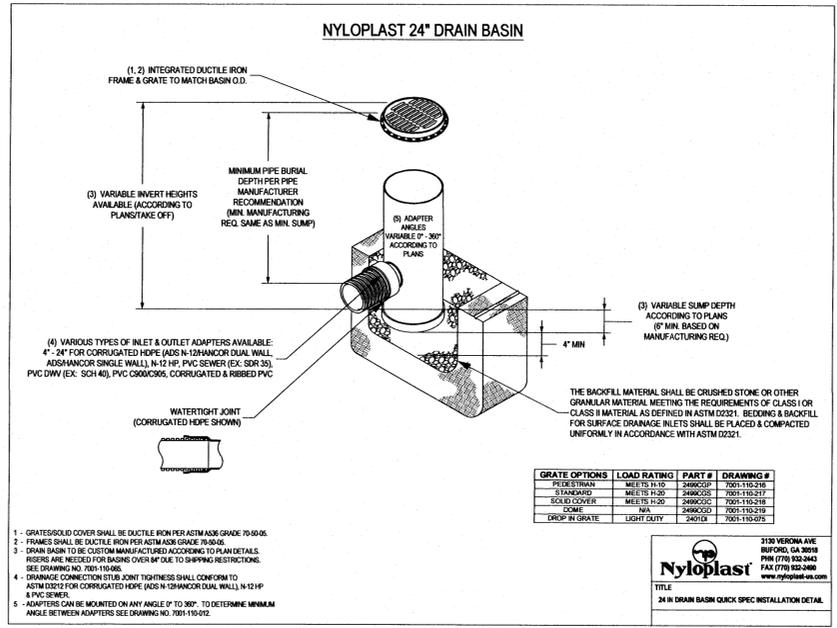
HAMMOND ENGINEERING, INC.
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 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
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 TOM@BELANDEDDESIGN.COM

PROFESSIONAL SEAL:
 TOM BELANDED
 ENGINEER
 STATE OF FLORIDA

SITE DEVELOPMENT PLANS FOR BRIDGE BAR PARKING LOT LANDSCAPING PLAN CITY OF GULF BREEZE FLORIDA

DRAWN BY: PRH
 DESIGNED BY: RLB
 CHECKED BY: TGH
 DATE: 04-20-2016
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:

PROJECT NO: 16-010
 SHEET: C6



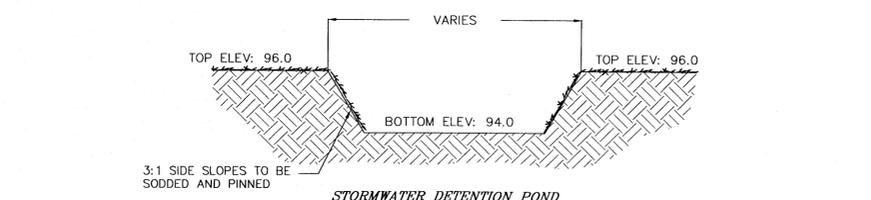
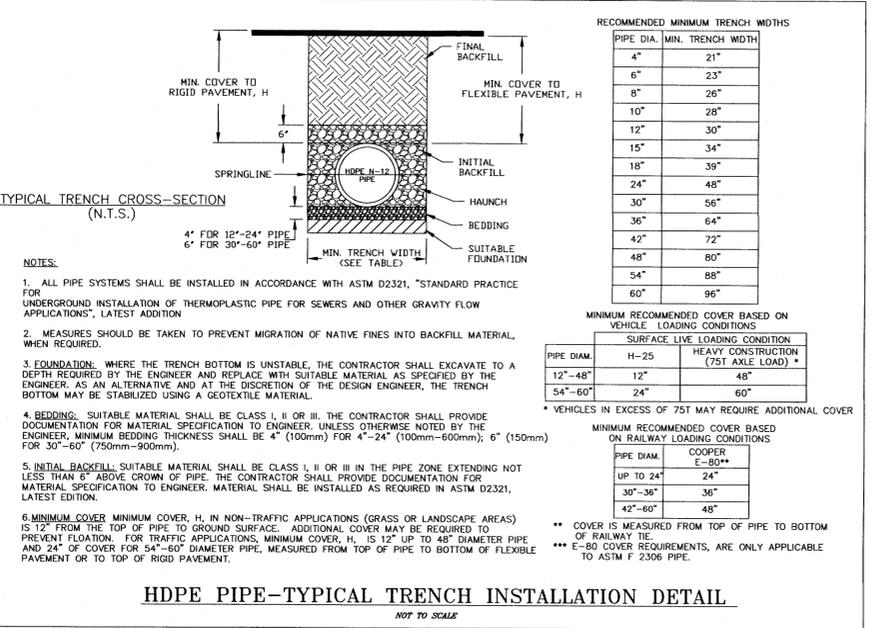
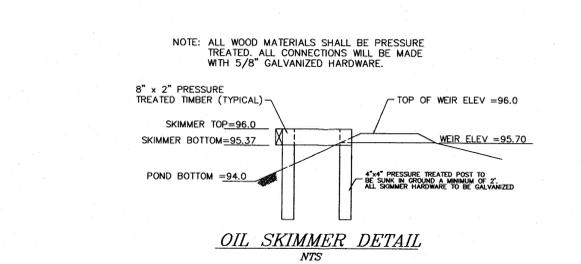
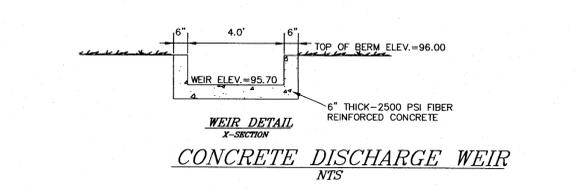
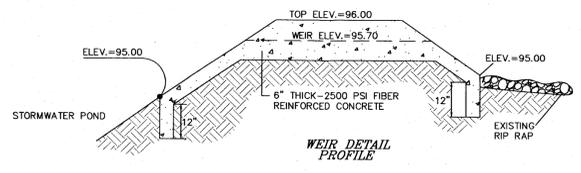
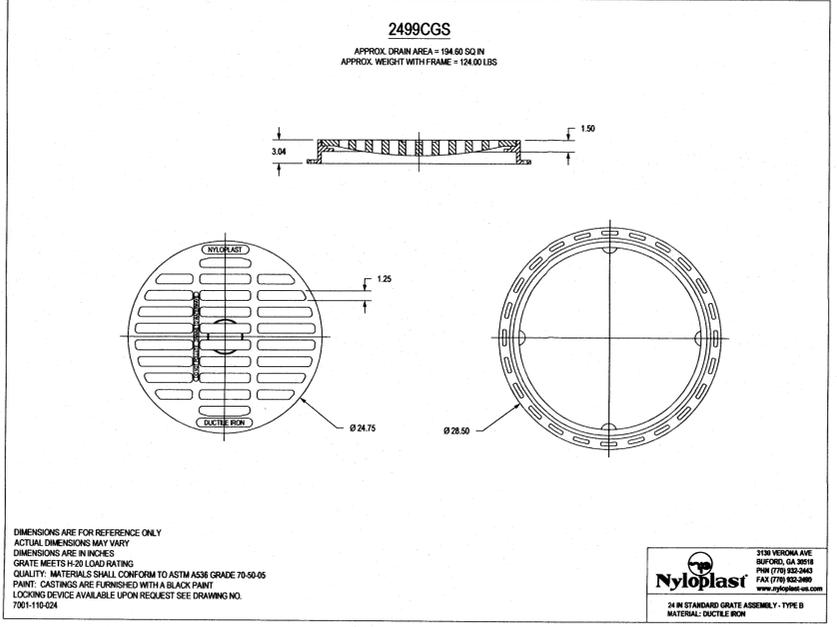
Engineered Surface Drainage Products

GENERAL
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe systems. This joint tightness shall conform to ASTM D2321 for joints for ductile iron pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for sizes 8", 10", 12", 15", 18", 24" and 30" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

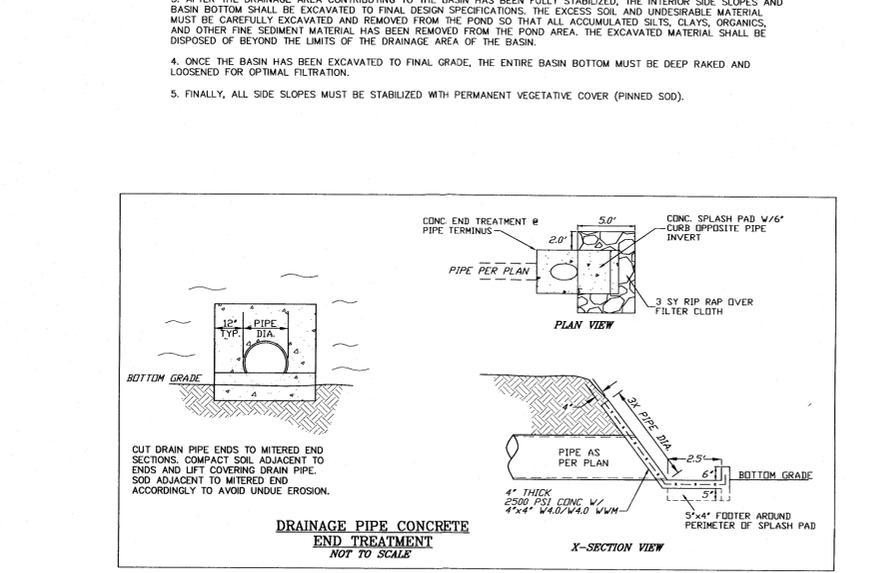
INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1 or class 2 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.



RETENTION BASIN CONSTRUCTION

- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THIS PLAN
- CONSTRUCT THE RETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
- AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
- ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENED FOR OPTIMAL FILTRATION.
- FINALLY, ALL SIDE SLOPES MUST BE STABILIZED WITH PERMANENT VEGETATIVE COVER (PINNED SOD).

NOTE: THE ENTIRE BANK SLOPE OF THE POND SHALL BE GRASSED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTIPEDE OR OTHER SUITABLE GRASS.



REVISIONS TO DEVELOPMENT PLANS TO BE APPLICABLE PLANNING AS PER CITY OF GULF BREEZE

NO.	DATE	DESCRIPTION
1.	05/19/16	REVISED PLANS TO BE APPLICABLE PLANNING AS PER CITY OF GULF BREEZE

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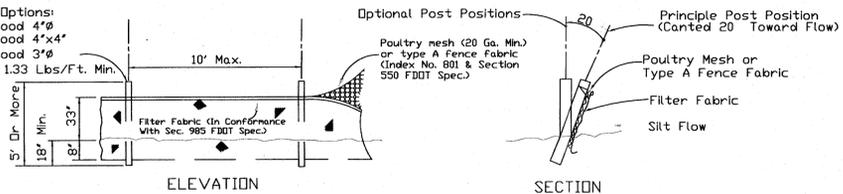
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 15th STREET
PENSACOLA, FLORIDA 32505
PH 850-434-2603
FAX 850-434-2650
TOM@BELANDDESIGN.COM

SITE DEVELOPMENT PLANS FOR BRIDGE BAR PARKING LOT CONSTRUCTION DETAILS CITY OF GULF BREEZE FLORIDA

DRAWN BY: PRH
DESIGNED BY: RLS
CHECKED BY: TOH
DATE: 04-20-2016
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 16-010
SHEET: **C7**

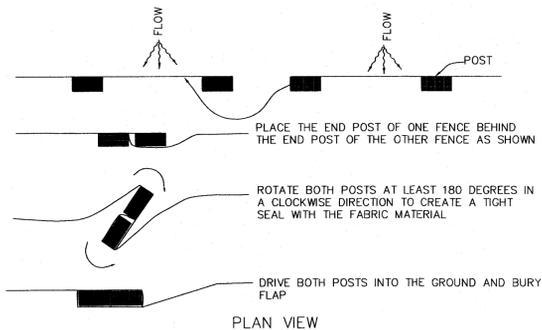
Post Options:
Softwood 4"Ø
Hardwood 3"Ø
Steel 1.33 Lbs/Ft. Min.



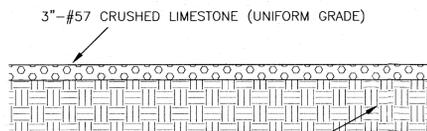
TYPE IV SILT FENCE

NOTES FOR SILT FENCES:

1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1 (FDOT INDEX 102)
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

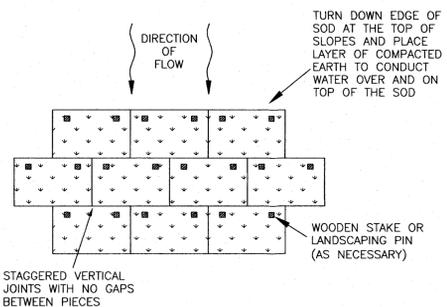


JOINING TWO SILT FENCES
NTS



TYPICAL GRAVEL PARKING LOT SECTION
NTS

*NOTE: FINISHED SURFACE MUST WITHSTAND A MINIMUM OF 40 TONS

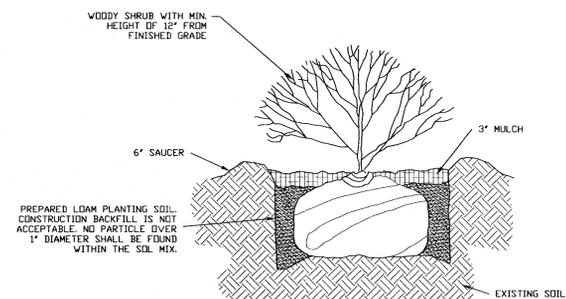
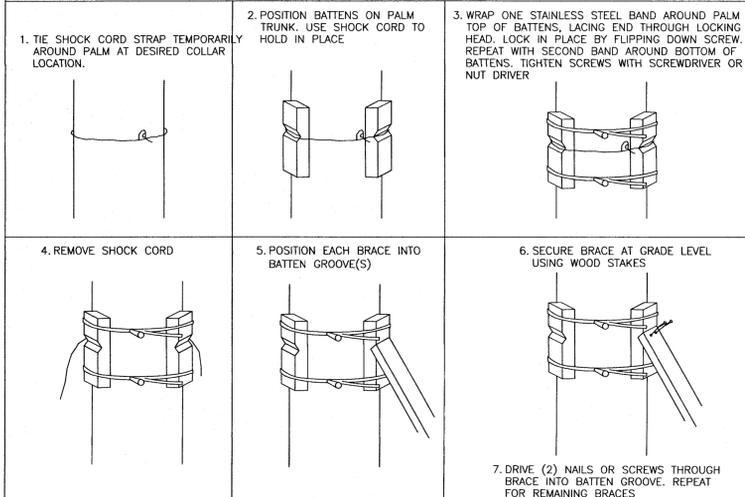
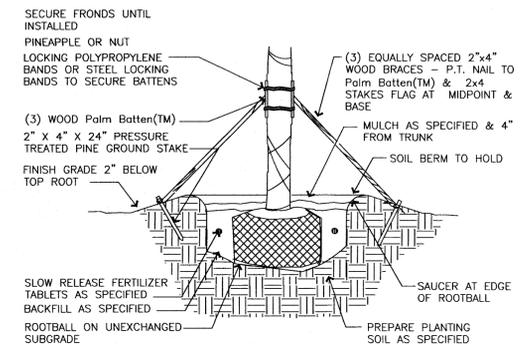


- NOTES:
1. PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
 2. SOD SHALL BE STAKED ON ALL SLOPES 4:1 OR STEEPER, IN ANY AREAS OF CONCENTRATED DRAINAGE FLOWS AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.

SODDING DETAIL

NOT TO SCALE

Palm Batten Detail

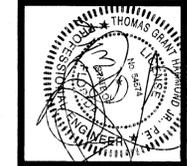


SHRUB PLANTING DETAIL

NTS

NO.	DATE	REVISIONS
1.	05/19/16	REVISED PLANS TO REFLECT ISSUES & APPLICABLE PLANNINGS AS PER CITY OF GULF BREEZE

H&E
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 16TH STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@BELANDEDESIGN.COM



SITE DEVELOPMENT PLANS
FOR
BRIDGE BAR PARKING LOT
CONSTRUCTION DETAILS
CITY OF GULF BREEZE FLORIDA

DRAWN BY: PRH	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 04-20-2016
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 16-010
SHEET: C8



City of Gulf Breeze

Memorandum

To: Buz Eddy, City Manager

From: Nathan G. Ford, Assistant to City Manager

Date: 6/8/2016

Subject: Recommendation of Firm to Provide Landscape Architecture Design Services (US 98)

The City published a Request for Qualifications (RFQ) in March 2015, seeking proposals from qualified individuals or firms to provide landscape architecture design services. Specifically, the City desires to develop conceptual plans for the installation of landscape beds within the grass median of US 98 from its intersection with Daniel Drive to area east of the SR 399 overpass including US 98 right of ways in this section. This defined section is the remaining "un-landscaped" section in the US 98 corridor within the City. The City sent the notice of the RFQ to 12 regional landscape design firms. The RFQ was picked up by national firms as well and the City received many calls of inquiry during the submission period.

The City received proposals from seven respondents by the published deadline. The proposals were opened publically by the City Clerk at 10:10 AM on May 18, 2016. The results of the opening are listed on Table 1 below:

<u>Respondent</u>	<u>Proposed Cost</u>
Jerry Pate Design, Pensacola, FL	\$24,300.00
Tullo Planning Group, LLC, Panama City Beach, FL	\$21,600.00
Morris-Depew Associates Inc., Fort Meyers, FL	\$10,150.00*
Littlejohn, Orlando, FL	\$24,800.00
The Jaeger Company, Athens, GA	\$10,150.00*
William H. Smith, ASLA, Valparirso, FL	Undetermined
WAS Designs, Inc., Foley, AL	\$20,000

**Projected Fees included undetermined Stakeholder and City Council Meeting Fees*

Proposals were reviewed by the selection committee. Two firms were selected for further review based on the quality of their experience and response package to the RFQ. These finalists were interviewed via phone on Monday, June 6th. Based upon these interviews and response packages, City staff recommends WAS Designs, Inc. (Watkins, Acy, Strunk) to develop conceptual landscape plans for the portion of US 98 explained above. WAS Designs has an impressive portfolio of designing landscapes for

medians, right of ways, streetscapes, etc. Of note, the firm functioned as primary landscape architect for the 2011 renovation of the Pensacola International Airport and has continued to provide landscape reviews up until 2015 for the property. Recent enhancements to Palafox Promenade in the City of Pensacola are results of their work. They developed an overall Landscape Development Plan for Hurlburt Field for Distinguished Visitor Routes this year and are in the process of preparing conceptual design documents for Perdido Beach Boulevard. Gulf Breeze Residents would recognize some of their commercial work at Red Fish Blue Fish Restaurant and the Holiday Inn Resort on Pensacola Beach. WAS Designs Staff offers depth on their team with notable experience in irrigation, drainage and selection of appropriate plant species that compliment design in harsh environments.

Please do not hesitate to contact me if you should have questions.

Recommendation:

That the Council direct staff to negotiate a contract with WAS Designs to develop conceptual plans for the installation of landscape beds within the grass median of US 98 from its intersection with Daniel Drive to area east of the SR 399 overpass including US 98 right of ways in this section.



City of Gulf Breeze

TO: Edwin A. Eddy, City Manager

FROM: Vernon L. Prather, Operations Consultant *U.P.*

DATE: May 27, 2016

RE: FEMA Alternative Project, West Golf Course Bunkers

As you are aware, the City was informed last month that FEMA had obligated costs to repair Tiger Point West Course bunkers. As the West Course has been closed since the flood, it may be appropriate to pursue alternative project approval from FEMA and the City Council.

The initial amount obligated by FEMA for this project was \$533,202. Under an alternative project funding this would be limited to 75% or \$399,902 of which the City would be responsible for \$49,998 (State \$49,998, FEMA \$299,927).

Staff has filed with the State for an extension of the typical 18 month deadline for completion.

Since FEMA tends to favorably view alternative projects that address the same facility/area that was damaged, we are proposing the purchase of equipment to maintain the West Course as well as other City properties. It is anticipated that the maintenance equipment would be appearing as capital requests in the next few budget cycles.

Staff is currently using very old tractors and backhoe loader equipment that we salvaged out the golf course bone yard that were included in purchase of the golf course in 2012. This equipment is used to maintain the 120 acres contained in the west golf course as well as 100 acres of spray fields. We recently purchased 2 new finish mowers for the west course, these are in good condition.

Listed below is the type of equipment with estimated cost that is needed to maintain the west golf course, spray fields, and related irrigation lines.

• Closing and covering damaged Bunkers in accordance with FEMA requirements.	\$34,900
• (1) 90 hp Backhoe Loader	\$90,000
• (1) 50 hp Excavator	\$60,000
• (2) 60 hp Tractors @ \$50,000 each	\$100,000
• (1) F450 Truck	\$50,000
• (1) F250 Truck	\$45,000
• (1) 15' Finish Mower	<u>\$20,000</u>
Total	\$399,900

In order to move forward with the Alternative Project, the City Council needs to hold public hearings and seek input on the proposed alternative project and submit a resolution to FEMA requesting approval.

Recommendation: City Council schedule two (2) Public Hearings to seek input for establishing a FEMA Alternative Project instead of rebuilding the Tiger Point West Course Bunkers.

City of Gulf Breeze 2017-21 Capital Project or Equipment

Project/Equipment

Project Name: WWTP 403-2400 Department: SSRUS
 Project Status: Project Type:
 Location: WWTP Acct. Number:
 Relationship to Other Projects:

Description

Machinery & Equip - West Golf Course: Backhoe loader, 2 tractors, Implements, Equipment Trailer, Truck
 Equipment Building
 WWTP Equipment
 WWTP Expansion
 Elevated Reclaim Tank
 West Course Drainage Improvements

Project Cost Description	2017	2018	2019	2020	2021	2017-2021 Total
Mach & Equip - West Golf Course Maint	350,000					350,000
West Course Drainage Improvements		100,000				100,000
Equipment Building	80,000					80,000
WWTP Equip	52,000	50,000	50,000	50,000	50,000	252,000
Elevated Reclaim Tank	1,000,000					1,000,000
WWTP Design		100,000	100,000			200,000
WWTP Expansion				10,000,000		10,000,000
Soundside/Oak St Force Main Ext	210,000					210,000
TOTAL COSTS \$	1,692,000 \$	250,000 \$	150,000 \$	10,050,000 \$	50,000 \$	12,192,000
Proposed Source of Funds						
FEMA AIT Project	350,000					350,000
DEP Grant	365,000					365,000
Operating Revenue	132,000	250,000	150,000	50,000	50,000	632,000
Tap Fees	845,000					845,000
Borrowing				10,000,000		10,000,000
TOTAL FUNDS \$	1,692,000 \$	250,000 \$	150,000 \$	10,050,000 \$	50,000 \$	12,192,000



STATE OF FLORIDA

DIVISION OF EMERGENCY MANAGEMENT

RICK SCOTT
Governor

BRYAN W. KOON
Director

March 11, 2016

Mr. Stephen Milford, Finance Director
Gulf Breeze, City of
1070 Shoreline Drive
Gulf Breeze, Florida 32561

FEMA-4177-DR-FL
FIPS No. 113-28000-00
Package 34
PW(s): 945v0

Dear Mr. Milford:

Attached is a copy of the Federal Emergency Management Agency (FEMA) Project Application Summary (P2) package referenced above. This Project Application Summary denotes Public Assistance Funding provided under the Robert T. Stafford Act for disaster damages caused by DR-4177, Severe Storms, Tornadoes, Straight-Line Winds & Flooding.

Should you disagree with FEMA's determination you have the right to appeal in accordance with 44 CFR, §206.206. You must file an appeal within 60 days of receipt of this correspondence to the State of Florida Division of Emergency Management (Grantee). Submit online at www.FloridaPA.org by going to the Account Summary Screen and choosing "New Appeal" from the "New Request" dropdown on the right side of the page. Written correspondence may be scanned and uploaded to the appeal request online or mailed to:

Bryan W. Koon, Director, Division of Emergency Management
Attention: Bryan Lowe, State Public Assistance Officer
2555 Shumard Oak Boulevard, Tallahassee, Florida 32399

The appeal must contain documentation supporting the Applicant's position and the applicable provisions in Federal Law, regulation, and/or policy.

Reimbursements for large projects (in excess of \$120,000.00) must be requested by the applicant (Subgrantee). This may be accomplished via the State's Public Assistance website, www.FloridaPA.org, by submitting a Request for Reimbursement (RFR) along with a Summary of Documentation (SOD) and all supporting documents which must total, at least, the amount being requested. The work performed must be included in the project worksheet's (Subgrant) Scope of Work.

One (1) Request for Advance (RFA) is allowed per disaster. It may cover multiple worksheets. Submit the Request for Advance (RFA) and a Schedule of Projected Expenditures (SOPE) on www.FloridaPA.org. Advanced funds are expected to be used within 90 days of receipt.

Mr. Stephen Milford
March 11, 2016
Page Two

The applicant must maintain original and accurate records of disaster costs for a period of five years from the date of disaster closeout by FEMA. Copies of Project Worksheets may be viewed and printed online at www.FloridaPA.org.

Throughout the Grant Management process, our website can be utilized to research up-to-date status and submit further requests. For further details on the payment process, please visit www.FloridaPA.org and click the tab titled **Applicant Guidelines and Guides** for instructions on how to submit a Request for Reimbursement, or see PAYMENT OF COST in the Disaster Relief Funding Agreement.

If you have any questions or should require further information, please feel free to contact your State Support Team at the phone number or email address listed under "State Contacts" on the left side of your www.FloridaPA.org Account Summary Screen.

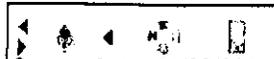
Sincerely,



Bryan Lowe
State Public Assistance Officer

BL/em

Enclosure: P2 Package 34



Capture Date: 01/29/2016 21:42

Federal Emergency Management Agency
 Project Application Grant Report (P.2)
 Disaster: FEMA-4177-DR-FL

Number of Records: 1

Applicant ID: 113-28000-00
 Bundle #: PA-04-FL-4177-State-0034
 (33)

Applicant: GULF BREEZE

PW #	Cat	Cost Share	Projected Completion Date	Approved PW Amount (\$)
PA-04-FL-4177-PW-00945(0)	G	N	11-06-2015	533,202.20

Facility Number: 1

Facility Name: TIGER POINT GOLF COURSE WEST - BUNKERS/GREENS

Location: Tiger Point Golf Course Clubhouse
 GPS: 30.383644,-87.078837

Scope of Work: In order to bring the 22 sand bunkers of the Tiger Point West Golf Course and 9 putting greens back to pre-disaster condition and playability the Applicant, following their procurement policy, will award a contract for 30,841 sf of sand replenishment and a contract for repairing approximately 49,672 sf of damaged putting greens. Due to the large number of bunkers and amount of sand, machinery will be used to remove the sand. This process will compromise the bunker liners, sub base gravel and drain lines causing the scope of work to include removing the existing sand, sub base, liners and drain lines from all the bunkers and replacing with new like in kind materials. New sand will be placed at a depth of 6 inches that will eventually compact to the required 4 inch playability depth. The 9 putting greens will have their damaged turf surface and soil root base removed and replaced. The Applicant supplied a contractor's estimate of \$7.00/sf x 49,672 sf = \$347,704.00 to complete repairs to the 9 putting greens.

Bunker Replenishment:

The Applicant developed and supplied the following estimate which includes materials to be purchased by the applicant and labor completed by contract:

Gravel Bunker sub base: 3 loads (25 tons/load) at \$39/ton = \$2,925.00

Bunker Liner: 30,841 SF will be replaced using 103 rolls (300 SF each) at \$297.40/roll = \$30,632.00

Drainage pipe: 78,856 LF perforated will be replaced using 4 inch pipe at \$.48/LF = \$37,865.00

Sand: 571 CY will be replaced using 777 tons at \$28.95/TN = \$22,496.00

Labor: Estimated labor to bring the 22 damaged bunkers back to pre-disaster condition and capacity = \$88,141.00

Estimate to bring the 22 damaged bunkers back to pre-disaster condition and function = \$182,059.00.

Putting Green Restoration:

The nine damaged putting greens will have their grass surface and 12 inch root bed removed. Specialized soil with the necessary nutrients will be replaced for the root bed at a depth of 14 inches and hydro-compacted to 12 inches. The surface will be contoured to original grade and specifications in preparation for the playing surface. Ultra Dwarf Bermuda Turf sprigs will be applied to the surface, prepped and cared for until a suitable playing surface is established.

Facility Maintenance

The City of Gulf Breeze purchased the Tiger Point Golf Club in December 2012. This facility was of PGA Tour championship quality as evident by the previous owner hosting the Pensacola Open, a PGA tour event. Each bunker was completely rebuilt by the previous owner following the hurricanes of 2004 and 2005. After our December 2012 purchase of the facility, in the 15 months prior to the April 2014 flood, the applicant performed routine maintenance necessary to maintain the professional and United States Golf Association (USGA) standards required for the high level of conditions this course has maintained. This routine maintenance includes:

- 10 hours daily for 2 workers to spin and rake all bunkers
- 6 hours a week for 1 worker to weed eat the slopes of all bunkers
- 3 - 4 times per year, 96 hours for 4 workers to edge all bunkers.
- Mowing, verticutting, aeriating, top dressing and fertilizing the putting greens

Capture Date: 01/29/2016 21:42

**Federal Emergency Management Agency
Project Application Grant Report (P.2)
Disaster: FEMA-4177-DR-FL**

Number of Records: 1

It is not practice of the Applicant to memorialize or record specific tasks and routines on work orders or time cards. The Golf Course Superintendent delegates (and supervises) the work of their personnel who then completes the tasks.

REQUIRED DOCUMENTATION (CONTRACTS & BIDS):
Applicant has been unable to provide required documentation (contracts & bids) to verify estimated damage repair costs at the time of submittal. Applicant estimated damage repair costs @ \$529,764.00 but HAS NOT provided required documentation to verify.

RECORD RETENTION:
Complete records and cost documents for all approved work must be maintained for at least 3 years from the date the last project was completed or from the date final payment was received, whichever is later. Applicant is responsible for retention of all documentation associated with this project.

SUPPORTING DOCUMENTATION:
100% of the documentation to support this project has been reviewed and verified by the Applicant and Project Specialist for eligibility and correctness.

PROCUREMENT RULES:
Applicant is required to adhere to State Government Procurement rules and regulations and maintain adequate records to support the basis for all purchasing of goods and materials and contracting services for projects approved under the Public Assistance program, as stated in 44 CFR 13.36. The applicant has advised they have/will follow their normal procurement procedures.

PERMITS:
The PA Project Specialist has advised the Applicant that it is their responsibility to obtain all applicable local, state and federal permits prior to any construction or debris disposal activity referenced on this project. Applicant has also been advised that the lack of obtaining and maintaining these documents may jeopardize funding.

INSURANCE:
The Applicant is aware that all projects are subject to an insurance review as stated in 44 C.F.R. Sections 206.252 and 206.253. If applicable, an insurance determination will be made either as anticipated proceeds or actual proceeds in accordance with the Applicant's insurance policy that may affect the total amount of the project.

DIRECT ADMINISTRATIVE COSTS:
The subgrantee is requesting Direct Administrative Costs (DAC) that are directly chargeable to this specific project. Associated eligible work is related administration of the PA project only and in accordance with 44 CFR 13.22. These costs are treated consistently and uniformly as direct costs in all federal awards and other subgrantee activities and are not included in any approved indirect cost rates.

SANDY RECOVERY IMPROVEMENT ACT
Funds obligated pursuant to this Project Worksheet (PW) are subject to expenditure time limits imposed under Section 904(c) of the Disaster Relief Appropriations Act, 2013, P. L. 113-2, and are required to be expended by the grantee or sub-grantee (paid as an outlay of money in furtherance of the grant purpose) within 730 days of the date FEMA obligates the funds for this PW in its financial system. Any funds not expended by the grantee or sub-grantee within 730 days will be de-obligated by FEMA within 30 days from the end of this 730 day period and any funds withdrawn and not expended must be returned to FEMA within 30 days from the end of the 730 day period, ceasing FEMA's financial liability.

1 PW	PWs (\$)	Subgrantee Admin Exp. (\$)	Total (\$)
Amount Eligible (\$)	533,202.20	0.00	533,202.20
Federal Share (\$)	399,901.65	0.00	399,901.65

Capture Date: 01/29/2016 21:42

Federal Emergency Management Agency
Project Application Grant Report (P.2)
Disaster: FEMA-4177-DR-FL

Number of Records: 1



City of Gulf Breeze

TO: Edwin A. Eddy, City Manager

FROM: Vernon L. Prather, Operations Consultant *V.P.*

DATE: May 27, 2016

RE: Northwest Florida Water Management District Grant Time Extension

The City entered into a grant agreement with the Northwest Florida Water Management District (NFWMD) on June 27, 2014 for the construction of a Elevated Reclaimed Water Storage Tank.

The original grant of \$365,000 or 50% match whichever is less is set to expire on 6/27/16, therefore we requested a time extension pursuant to Section 3A of the agreement until May 31, 2017.

Attached is Amendment No.1 to NFWMD Contract No. 14-081. extending the time as requested to May 31, 2017.

Recommendation: City Council approve the time extension to the NFWMD Grant and authorize the Mayor to sign Amendment No.1 on behalf of the City.



Brett J. Cyphers
Executive Director

Northwest Florida Water Management District

81 Water Management Drive, Havana, Florida 32333-4712
(U.S. Highway 90, 10 miles west of Tallahassee)

Phone: (850) 539-5999 • Fax: (850) 539-2777

RECEIVED

MAY 17 2016

May 12, 2016

Edwin A. Eddy
City of Gulf Breeze
P.O. Box 640
1070 Shoreline Drive
Gulf Breeze, FL 32562

SUBJ: AGREEMENT AMENDMENT ORIGINALS

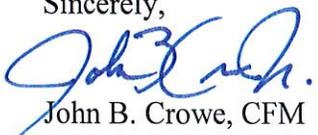
Dear Mr. Eddy:

Please find enclosed two originals of District grant agreement amendment to NFWWMD Contract 14-081, Construction of a Reclaimed Water Storage Tank in the City of Gulf Breeze. This amendment will provide a no-cost time extension to the City to complete the installation of reclaimed water storage tank.

When these are signed and dated, please retain one for your files and return one to me at the letterhead address.

Please contact me at any time if you have any questions or if I can assist otherwise. We appreciate the opportunity to work with you on this project and look forward to its accomplishment.

Sincerely,


John B. Crowe, CFM
Associate Hydrologist

GEORGE ROBERTS
Chair
Panama City

JERRY PATE
Vice Chair
Pensacola

JOHN W. ALTER
Secretary-Treasurer
Malone

GUS ANDREWS
DeFuniak Springs

JON COSTELLO
Tallahassee

MARC DUNBAR
Tallahassee

NICK PATRONIS
Panama City Beach

BO SPRING
Port St. Joe

AMENDMENT NO. 1 TO GRANT AGREEMENT
BETWEEN
THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
AND
THE CITY OF GULF BREEZE
FOR
CONSTRUCTION OF A RECLAIMED WATER STORAGE TANK
NFWFMD CONTRACT NUMBER 14-081

THIS AGREEMENT AMENDMENT is made and entered into by and between the NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT, a public entity created by Chapter 373, Florida Statutes, as amended, for itself, herein after referred to as the "DISTRICT," and THE CITY OF GULF BREEZE, hereinafter referred to as the "GRANTEE."

In consideration of services to be performed for the public benefit hereunder, the DISTRICT and the GRANTEE hereby agree to amend the following clauses to DISTRICT CONTRACT Number 14-081 referenced above as follows:

3. It is mutually understood and agreed that:
- A. This AGREEMENT shall remain in effect until May 31, 2017, unless extended by mutual written consent.

All other provisions of the AGREEMENT and associated exhibits remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have executed this AGREEMENT AMENDMENT the day and year last below written.

**NORTHWEST FLORIDA WATER
MANAGEMENT DISTRICT**

CITY OF GULF BREEZE

By: 
Brett J. Cyphers, Executive Director

By: _____
Matt Dannehisser, Mayor

Date: 5/12/16

Date: _____

AMENDMENT NO. 1 TO GRANT AGREEMENT
BETWEEN
THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
AND
THE CITY OF GULF BREEZE
FOR
CONSTRUCTION OF A RECLAIMED WATER STORAGE TANK
NWFWMDCONTRACT NUMBER 14-081

THIS AGREEMENT AMENDMENT is made and entered into by and between the NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT, a public entity created by Chapter 373, Florida Statutes, as amended, for itself, herein after referred to as the "DISTRICT," and THE CITY OF GULF BREEZE, hereinafter referred to as the "GRANTEE."

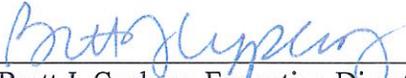
In consideration of services to be performed for the public benefit hereunder, the DISTRICT and the GRANTEE hereby agree to amend the following clauses to DISTRICT CONTRACT Number 14-081 referenced above as follows:

3. It is mutually understood and agreed that:
 - A. This AGREEMENT shall remain in effect until May 31, 2017, unless extended by mutual written consent.

All other provisions of the AGREEMENT and associated exhibits remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have executed this AGREEMENT AMENDMENT the day and year last below written.

**NORTHWEST FLORIDA WATER
MANAGEMENT DISTRICT**

By: 
Brett J. Cyphers, Executive Director

CITY OF GULF BREEZE

By: _____
Matt Dannehisser, Mayor

Date: 5/12/16

Date: _____



City of Gulf Breeze

May 4, 2016

Northwest Florida Water Management District
Mr. John Crowe, CFM
Associate Hydrologist
81 Water Management Drive
Havana, FL 32333

RE: NFWFMD Contract Number 14-081

Dear Mr. Crowe

The City of Gulf Breeze entered into a grant agreement with The Northwest Florida Water Management District on June 27, 2014 for construction of a Reclaimed Water Storage Tank.

Due to circumstances beyond our control, particularly the flood in April 2014, we are behind our anticipated schedule for the reclaimed water storage tank project. We also encountered soil conditions which required a design change for the elevated tanks foundation.

This project has been designed and is currently out to bid. We are submitting a revised construction schedule, attached, for your review and comment.

Pursuant to Section 3A of the agreement, we respectfully request an extension to May 31, 2017.

Sincerely,

Edwin A. Eddy
City Manager

attachment

GRANT AGREEMENT

BETWEEN

THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

AND

CITY OF GULF BREEZE

FOR

CONSTRUCTION OF A RECLAIMED WATER STORAGE TANK

NFWMD CONTRACT NUMBER 14-081

WITNESSETH:

WHEREAS, the CITY OF GULF BREEZE, a Florida Municipal Corporation (hereinafter referred to as the GRANTEE) located in Santa Rosa County, Florida, has identified the need for construction of a reclaimed water storage tank to support reclaimed water distribution during periods of demand; and

WHEREAS, the NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT, a public entity created by Chapter 373, Florida Statutes (hereinafter referred to as the DISTRICT) is authorized to assist local governments and utilities with water supply development, in accordance with section 373.705, Florida Statutes (F.S.); and

WHEREAS, the GRANTEE, doing business as the South Santa Rosa Utility System, provides public water and sewer service for the area east of the City of Gulf Breeze City Limits; and

WHEREAS, the GRANTEE, by completing this project, will improve reclaimed water storage capacity; and

NOW, THEREFORE, in consideration of services to be performed for the public benefit hereunder, the DISTRICT and GRANTEE agree as follows:

1. The DISTRICT agrees:
 - A. To provide funding on a reimbursement basis, not to exceed \$345,500 dollars or fifty percent of the final cost to complete the project, whichever is less, for approved expenses in support of the construction of a reclaimed water storage tank project, as described in the Scope of Work (ATTACHMENT 1).
 - B. To provide payment of funds indicated in Paragraph 1.A. for work satisfactorily completed within 30 days of receipt of approved invoices from the GRANTEE. Invoices may be submitted no more frequently than quarterly or at the termination of the agreement. All invoices must be submitted with supporting documentation and with sufficient detail for the proper pre-audit and post-audit thereof.

2. The GRANTEE agrees:
 - A. To provide a minimum of 50% of the funding required for project completion.
 - B. To administer the consultant contracts.
 - C. To obtain all necessary permits for project construction and operation.
 - D. To invoice the DISTRICT for work satisfactorily completed in support of the reclaimed water storage tank project, as described in the Scope of Work (ATTACHMENT 1). Invoices may be submitted no more frequently than quarterly and must be submitted with supporting documentation and with sufficient detail for the proper pre-audit and post-audit thereof. Supporting documentation shall reflect actual costs consistent with the grant agreement.
 - E. To provide to the DISTRICT all deliverables specified in the Scope of Work (ATTACHMENT 1). Deliverables will be provided to District staff during project implementation
 - F. To provide all necessary services associated with facility design, permitting, and construction, including surveying, contract management, land acquisition, legal services, right-of-way acquisition, zoning, replatting, comprehensive plan amendment, code variance, and other services, as necessary.
 - G. To use funds obtained from the DISTRICT pursuant to this AGREEMENT solely for the purposes of the Construction of a Reclaimed Water Storage Tank project, as described in the Scope of Work (ATTACHMENT 1).
 - H. To comply with all applicable federal, state and local rules and regulations in providing services under this AGREEMENT. The GRANTEE acknowledges that this requirement includes compliance with all applicable federal, state, and local health and safety rules and regulations.
 - I. To maintain books, records, and documents directly pertinent to performance under this AGREEMENT in accordance with generally accepted accounting principles consistently applied. The DISTRICT, the State of Florida, or their authorized representatives shall have access to such records for auditing purposes during the term of this AGREEMENT and for three years following project completion.

3. It is mutually understood and agreed that:
 - A. This AGREEMENT shall remain in effect for 24 months from the date of the last signature, unless extended by mutual written consent.
 - B. The DISTRICT shall have no liability or responsibility to the GRANTEE, its contractors, any governmental entity, or the employees, agents, representatives, licensees, invitees, and guests of the GRANTEE and its contractors or any other person or entity associated with the project as a result of, or arising out of, the GRANTEE's use of DISTRICT funds.
 - C. This AGREEMENT may be terminated by either of the parties upon at least 30 days written notice.

L. Notices provided for in this AGREEMENT shall be delivered to the GRANTEE by delivery to the GRANTEE's Project Manager and to the DISTRICT by delivery to the DISTRICT Project Manager. The Project Managers are:

CITY OF GULF BREEZE, FLORIDA

Thomas Lambert, P.E.
Assistant Public Service Director
P.O. Box 640
1070 Shoreline Dr.
Gulf Breeze, FL 32561
(850) 934-4094
tlambert@gulfbreezefl.gov

**NORTHWEST FLORIDA WATER
MANAGEMENT DISTRICT**

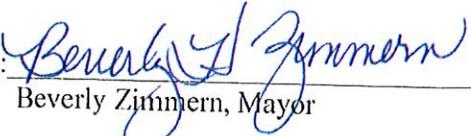
John B. Crowe, CFM
Associate Hydrologist
81 Water Management Drive
Havana, Florida 32333
(850) 539-5999
John.Crowe@nwfwmd.state.fl.us

IN WITNESS WHEREOF, the parties hereto have executed this AGREEMENT the day and year last below written.

**NORTHWEST FLORIDA WATER
MANAGEMENT DISTRICT**

CITY OF GULF BREEZE, FLORIDA

By: 
Jonathan P. Steverson, Executive
Director

By: 
Beverly Zimmern, Mayor

Date: 6/19/14

Date: 6/27/2014

GRANT AGREEMENT BETWEEN THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND
THE CITY OF GULF BREEZE

ATTACHMENT 1 – SCOPE OF WORK

Background

The project will enhance the operation of the reclaimed irrigation distribution system, which currently serves two 18-hole golf courses and over 700 residential and commercial properties. Construction of the reclaimed water storage tank will allow continuing water storage over a 24-hour period and thus permit distribution during periods of demand. This allows the utility to increase the expansion of reclaimed reuse to more residential customers for irrigation purposes.

Project Description

The project will consist of the installation of a 300,000 gallon steel elevated tank on a City reclaimed sprayfield, as well as piping to connect the tank to the distribution system and the controls necessary to operate the system in conjunction with the existing reclaimed distribution system.

Anticipated Schedule

The anticipated schedule, described in months following grant agreement approval, is as follows:

Task	Scheduled Completion Date
Execution of this Grant Agreement	Month 1
Site Study, Design, Permitting	Month 8
Bidding and Award	Month 10
Construction	Month 23
Project Completion/Final Deliverables	Month 24

Anticipated Project Cost and Funding

<i>Budget Items¹</i>	<i>NWFWMD Grant</i>	<i>City of Gulf Breeze Matching Funds</i>
<i>1) Design</i>	*	*
<i>2) Surveying</i>	*	*
<i>3) Permitting (State/Local)</i>	*	*
<i>4) Construction</i>	*	*
Total	\$345,500⁽²⁾	\$345,500⁽²⁾

* *Category-specific costs to be determined.*

Footnotes:

- 1. Budget items indicated represent categories eligible for grant-funded expenditures*
- 2. Funds indicated represent target amounts. District funding will not exceed the lesser of \$345,500.00 or fifty percent of the total project costs, per Paragraph 1A. The total match requirement will be satisfied independent of category spending. 1.*

Deliverables

1. The GRANTEE shall complete the project as described above.
2. With each invoice the GRANTEE shall provide the following:
 - a. Description of activities completed during the invoice period;
 - b. Design drawings and project area map, as available, if not previously provided
 - c. Photographic record of project activities and progress to date; and
 - d. Expense backup documentation, in sufficient detail for proper pre-audit and post-audit.
3. The GRANTEE shall provide semiannual progress reports, due June 30 and December 31 of each year until the project is complete, to include the following:
 - a. Description of facility construction to date;
 - b. Design drawings and project area map (unless provided previously);
 - c. Photographic record of project activities and progress to date (unless provided previously);

- d. Work plan and schedule for next phase of project up to the next semiannual report or final project summary report. Note any changes to anticipated schedule outlined above; and
 - e. Summary of construction and total project costs to date, itemized by major component.
4. The GRANTEE shall provide a Final Project Summary Report upon completion of the project, to include the following:
- a. Project Summary Statement outlining accomplishments, problems encountered, solutions, and future recommendations;
 - b. Design drawings and project area map, if not previously provided;
 - c. Detailed description of the outcomes achieved, to include reclaimed water storage improvements, and any other improvements planned; and
 - d. Documentation of project costs, including grant funding and funding from other sources.

Specified deliverables must be provided in electronic format.



City of Gulf Breeze

TO: Edwin A. Eddy, City Manager
FROM: Thomas E. Lambert, Assistant Director of Public Services
DATE: June 13, 2014
RE: Grant Agreement for Reclaimed Elevated Tank Design

The City applied for a grant with the Northwest Florida Water Management District for the installation of a 300,000 gallon elevated reclaimed storage tank. The total cost is \$690,000 with the grant paying for 50% of the project. The City received notification on February 18th that the project had been selected to receive the grant funds.

The District has prepared an agreement and staff has reviewed the document with the City Attorney. The greatest concern was that the City could be left with the entire project cost if the agreement is canceled by either party without the construction being completed. The District has agreed that the City will be reimbursed 50% of the cost of the work completed at the time of cancellation. This still could leave the City with an incomplete project, but there is a very small chance that the agreement would be canceled.

The attached agreement spells out a general description of work, the requirements for project reporting and the process for obtaining reimbursements.

RECOMMENDATION: City Council approve and authorize the Mayor to sign the grant agreement for the reclaimed elevated tank.



City of Gulf Breeze

OFFICE OF THE CITY CLERK

TO : Edwin A. Eddy, City Manager
FROM : The City Clerk's Office
DATE : June 10, 2016
RE : Ordinance 05-16, Amending Deadline for Qualification of Candidate

The City Council recently adopted Ordinance No 03-16 changing the qualifying deadline for candidates to run for City Council. The qualifying deadline change was made to assist the Santa Rosa County Supervisor of Elections' Office to comply with the necessary requirements to prepare for Election Day.

When calculating the qualifying period beginning and ending dates, we realized that the ending date (66 days from Election Day) would continuously fall on a weekend. To allow for certainty in the calculation of the beginning and ending of the qualifying period, we propose to change the qualifying period to "begin on the first Monday in August and end at 12:00 PM on the Friday preceding Labor Day." This language will avoid weekends and holidays and possible miscalculation of the qualifying period.

The new qualifying period may be as long as thirty five days and as short as 28 days depending on the year. However, the City's election qualifying period is much longer than our surrounding Cities. Escambia County, City of Milton and Santa Rosa County all have a one week qualifying period.

We also propose making a change to Section 9(a) of the City's Charter regarding Elections. Section 9(a) provides as follows:

(a) The council shall provide by ordinance the method of holding all elections and shall require publication of notice of the time and place of all elections, such publication to be by posting in three (3) conspicuous places not less than thirty (30) days prior to the date of holding the election. Such notice shall specify the polling place or places and shall also name the inspectors and clerks. The city council may divide the city into precincts and provide separate voting places for the different precincts.

TO: Edwin A. Eddy, City Manager

June 10, 2016

Page 2

The City has an Interlocal Agreement with the Supervisor of Elections to conduct the City's elections. As part of the agreement, the Supervisor of Elections advertises prior to each election and post the names of all places in Santa Rosa County as well as provides inspectors and/or clerks to work the City's polling location. Therefore, the language in this section is outdated and should be removed from the City's Charter.

Attached hereto is Ordinance No. 05-16 for your consideration which addresses the above discussed changes. We have blacklined the proposed changes mentioned in the preceding paragraphs for your convenience.

RECOMMENDATION:

THAT THE CITY COUNCIL APPROVE ORDINANCE NO. 05-16 ON FIRST READING ON MONDAY, JUNE 20, 2016, AND SCHEDULE A SECOND READING AND PUBLIC HEARING FOR JULY 5, 2016.

ORDINANCE NO. 05 -16

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GULF BREEZE, FLORIDA, AMENDING THE MUNICIPAL CHARTER AND SECTION 2-1 OF THE CODE OF ORDINANCES RELATIVE TO THE QUALIFYING DEADLINE FOR MUNICIPAL ELECTIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Santa Rosa County Supervisor of Elections provides election administration services for the City pursuant to an Interlocal Agreement; and,

WHEREAS, the Supervisor of Elections publishes the time and place(s) of all elections in the City as part of the interlocal agreement; and,

WHEREAS, the Supervisor of Elections advised the City that its current qualifying period for election does not provide the Elections' Office sufficient time to perform all necessary requirements prior to Election Day; and,

WHEREAS, Florida Statutes Section 100.3605 allows a municipality to amend the dates for qualifying for election by ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gulf Breeze, Florida, as follows:

SECTION 1: Section 9 of the City's Charter is hereby amended as follows:

Section 9. Elections.

(a) ~~The council shall provide by ordinance the method of holding all elections and shall require publication of notice of the time and place of all elections, such publication to be by posting in three (3) conspicuous places not less than thirty (30) days prior to the date of holding the election. Such notice shall specify the polling place or places and shall also name the inspectors and clerks. The city council may divide the city into precincts and provide separate voting places for the different precincts.~~

SECTION 2: Section 2-1 of the City's Code of Ordinances is hereby amended as follows:

Section 2-1. Deadline for qualification of candidate.

The deadline for qualifying to become a candidate in any municipal election for Mayor and City Council shall be 12:00 PM on the Friday preceding Labor Day ~~sixty-six (66) days before the election~~. A candidate nominating petition as required by Section 9(b) of the City's Charter must be filed with the City Clerk at the open of business on the first Monday of August and end at 12:00 PM

ORDINANCE NO. 05-16

Page 2 of 2

on the Friday preceding Labor Day ~~not more than ninety-five (95) days and no less than sixty-six (66) days before the date of the election.~~

SECTION 3: SEVERABILITY

If any section, paragraph, sentence, clause, phrase, or word of this Ordinance is for any reason held by any court to be unconstitutional, inoperative, invalid, or void, such holding shall not in any manner affect the validity of the remaining portions of this Ordinance.

SECTION 4: CONFLICT

The provisions of this Ordinance shall be deemed to control and prevail over any ordinance, charter provision, or portion thereof in conflict with the terms hereof.

SECTION 5: EFFECTIVE DATE

This Ordinance shall become effective upon its adoption by the City Council.

PASSED ON THE FIRST READING ON THE _____ DAY OF JUNE, 2016.

ADVERTISED ON THE _____ DAY OF JUNE, 2016.

PASSED ON THE SECOND READING ON THE _____ DAY OF JULY, 2016.

CITY OF GULF BREEZE, FLORIDA

By: _____
Matt E. Dannheisser, Mayor

ATTESTED TO BY:

Leslie A. Guyer, City Clerk or
Stephanie D. Lucas, City Clerk



City of Gulf Breeze

TO : Mayor and City Council
FROM :  Edwin A. Eddy, City Manager
DATE : June 10, 2016
RE : Recycling

As you are aware, the market for commodities gathered through recycling has dropped dramatically over the past several years. The private material recovery facility in Escambia County has closed. We are advised by our hauler (Allied Waste) that there may be operating MRFs in New Orleans or Jacksonville.

This has made the current recycling program impractical. Allied has identified a vendor, Tarpon Paper, in Loxley, Alabama that will take recyclables. The only caveat is that they will not take glass.

Alternatively, we can continue to have Allied haul recycling to the Santa Rosa Landfill, cease recycling permanently or cease recycling temporarily until the ECUA MRF opens in August. The latter option requires an agreement with ECUA.

We believe we should keep the responsibility for recycling in the hands of our hauler. It seems to make the most sense to stop recycling glass and have Allied haul the remaining materials to Tarpon Paper.

When ECUA's MRF is open, Allied may negotiate an agreement to take recycling to ECUA.

RECOMMENDATION:

THAT THE CITY COUNCIL AGREE TO DROP GLASS FROM THE LIST OF RECYCLABLES IN THE CITY'S CONTRACT WITH ALLIED WASTE.



JOSEPH A. PASSERETTI
BOARD CERTIFIED CONSTRUCTION LAW

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BERT H. LANE
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May 20, 2016

VIA EMAIL (caeddy@gulfbreezefl.gov)

Buz Eddy
City Manager
City of Gulf Breeze
1070 Shoreline Drive
Gulf Breeze, FL 32562-0640

Re: Allied Waste Service of North America, LLC adv. City of Gulf Breeze
Our File No. 18687-70973

Buz,

Thank you for taking the time to meet with us last week. This letter is written following our conversation wherein you, Mr. Stebbins and Mayor Dannheiser extended the opportunity to write to you with a proposed resolution of the recycling issue we have been discussing.

We have explained our legal position and we are confident. I understand Mr. Stebbins, Mayor Dannheiser, and your points. At a minimum, we believe that the current state of the recycling market creates significant questions regarding our respective rights under the agreement. Obviously we disagree as to the impact of these changed conditions and I am hopeful this does not derail our efforts to work collaboratively to reach an agreement. However, for context, I think it is noteworthy that in discussing Jacksonville and New Orleans last week we all overlooked the fact that these are not legitimate options to deal with the recycling. This is so because there is no way we could service the City of Gulf Breeze, dispose of recycling materials in these locations, and return the trucks in time to service the City of Gulf Breeze under the current program. Therefore, disposal of recycling material in Jacksonville and New Orleans is actually impossible under the City's current program. We are disappointed that the current condition of the market requires disposing of the material in the landfill. It is beyond either of our control and we are confident that the City, at one point in time, did not disagree.

We have made it abundantly clear to you and the City that we expect to honor our agreement and continue to value our relationship with the City. Rather than quarrel over the language in the contract, or the impact of the changed conditions, I would like to focus on an interim resolution. We are informed that ECUA expects to begin operating its facility in

Escambia County sometime in August or September of this year. Therefore, the interim resolution would only need to be in place for three to four months.

With this in mind in an effort to resolve this issue we propose the following two options:

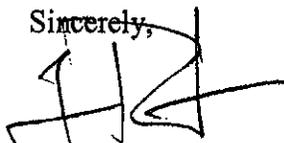
1. The cost of disposal at the Santa Rosa County landfill to be split 45/55 with Allied Republic shouldering 55% of the cost.
2. Alternatively, work together to alter the current program to allow for processing of the recyclable material at Tarpon Paper, in Loxley, Alabama.

We have articulated a version of these options before. The second option will be significantly more expensive for Allied Waste to undertake and will require the City of Gulf Breeze to alter its recycling program to remove glass. However, this option would divert a significant amount of material and for this reason it has some appeal to us. Candidly, we are still uncertain if the City is amenable to altering its recycling program; therefore, if this is not an option, please advise so we can focus elsewhere.

I write to you with some hesitation because we have not received a formal response to any of our previous proposals for a resolution. We welcome your input and any proposal the City may suggest on this issue.

I look forward to hearing from you soon.

Sincerely,

A handwritten signature in black ink, appearing to read 'JP', with a long horizontal line extending to the right.

Joseph Passeretti

JAP/cv

cc: Client
Michael Stebbins (mjsteb@bellsouth.net)

Kart shall mean a container or receptacle to be furnished by the Contractor made of durable, hard plastic material with a cover, handle, and at least two wheels, and having a volume of ninety-five (95) gallons and lifting capacity of at least three hundred (300) pounds.

Landfill shall mean the Central Landfill owned and/or operated by or for the benefit of Santa Rosa County, currently located on Dalisa Road, Milton, Florida.

Materials Recycling Facility shall mean a facility approved in writing by the Contract Administrator (which approval shall not be unreasonably withheld) operated or managed for the purpose of receiving, sorting, processing, storing, and/or preparing Recyclable Materials for sale.

Mixed Paper shall mean a mixture or variety of paper products including magazines, catalogs, phone books, cereal boxes, soda and beer can boxes, chipboard, file folders, envelopes, letter paper, junk mail, notepaper, and any other clean paper products.

Public Awareness Programs shall mean those programs developed for purposes of informing and encouraging Residential and Commercial Waste Collection Service customers to use solid waste and recycling collection services offered by the City through this Agreement. Public Awareness Programs shall also mean information concerning the scope and level of services provided by Contractor pursuant to this Agreement, together with any changes thereto.

Pull shall mean the act of removing a Roll-Off Container, disposing of its contents through appropriate methods, and replacing it with an empty Roll-Off Container. A Pull shall be performed by Contractor only when requested by the City (for Roll-Off Containers or Recyclable Materials Containers provided for the City's use) or when requested by the customer.

Recyclable Materials shall mean those materials designated in writing by the City to the Contractor which are capable of being recycled and which would otherwise be processed or disposed of as Solid Waste. The materials initially designated by the City as Recyclable Materials are newspapers (including inserts), household containers with the tri-arrow recycling symbol, magazines, catalogs, phone books and similar directories, aluminum cans, pans, plastic containers, glass bottles and jars, glass food or beverage containers, brown paper bags, corrugated cardboard, boxboard, fiberboard, steel and ferrous cans, and Mixed Paper.

Recycling Kart shall mean a Kart or Container that is used solely for the collection of Recyclable Materials, whether from a Residence or from a Commercial Establishment. Recycling Karts must be clearly distinguishable from Commercial and Residential Solid Waste Karts.

Residence or Residential shall mean a detached single family structure designed or intended for occupancy by one person or one family. Each apartment or condominium in a multi-family building or housing development which does not have a Dumpster on-site for the purpose of Collection of Solid Waste shall be deemed a "Residence." However, in the event of conflict between

this definition and the Residences and Commercial Establishments set forth in Exhibits "B" and "C," respectively, the information set forth in such exhibits shall control.

Residential Recycling Collection Service shall mean the Collection of Recyclable Materials from Residences in the City and the delivery of those Recyclable Materials to a Materials Recycling Facility.

Residential Recycling Curbside Collection Service shall mean Residential Recycling Collection Service at and from the Curbside of Residences in the City.

Residential Recycling Side Yard Collection Service shall mean Residential Recycling Collection Service at and from the Side Yard of Residences in the City.

Residential Solid Waste shall mean Garbage, Trash, and Bulk Trash resulting from the normal household keeping activities of a Residence, but shall not include Vegetative Waste. Residential Solid Waste shall also include Construction and Demolition Debris resulting from minor repair at a Residence.

Residential Solid Waste Curbside Collection Service shall mean Residential Solid Waste Collection Service at and from the Curbside of Residences in the City.

Residential Solid Waste Side Yard Collection Service shall mean Residential Solid Waste Collection Service at and from the Side Yard of Residences in the City.

Residential Solid Waste Collection Service shall mean the Collection of Residential Solid Waste within the City.

Residential Solid Waste Kart shall mean a Kart that is used solely for the Collection of Residential Solid Waste.

Residential Vegetative Waste shall mean Vegetative Waste of or from a Residence.

Residential Vegetative Waste Collection Service shall mean the Collection of Residential Vegetative Waste.

Residential Waste shall mean, collectively, Residential Solid Waste and Residential Vegetative Waste.

Residential Waste Collection Services shall mean, collectively, Residential Solid Waste Collection Service, Residential Recycling Collection Service, and Residential Vegetative Waste Collection Service.

and (ii) for those Residences that are to receive Residential Recycling Side Yard Collection Service, said Kart must be placed either in the Side Yard or at Curbside.

The Contractor shall not commingle Recyclable Materials with other Solid Waste. Commingling of Solid Waste with Recyclable Materials shall subject Contractor to charges as set forth in this Agreement. Contractor shall transport collected Recyclable Materials to a Materials Recycling Facility. Contractor shall be entitled to all proceeds from the sale of such Recyclable Materials.

Contractor may refuse to pickup Recyclable Materials if a Resident places improper materials in a Recycling Kart. At the time of refusal to make the pickup, Contractor shall issue a notice to the customer which contains instructions for the proper segregation of Recyclable Materials.

D. Residential Side Yard Collection. All Residential customers shall have the option of receiving Side Yard Service for the Collection of their Residential Solid Waste and/or Residential Recyclable Materials. Except for new Residential customers, any Residential customer desiring Residential Solid Waste Side Yard Collection Service and/or Residential Recyclable Side Yard Collection Service must make their selection during February of each year during the term of this Agreement. Any Residential customer who has previously selected Residential Solid Waste Side Yard Collection Service and/or Residential Recyclable Side Yard Collection Service will continue to receive such service unless that Residential customer, during the month of February, provides written instruction to the City terminating either or both such Side Yard Service. New Residential customers desiring Residential Solid Waste Side Yard Collection Service and/or Residential Recyclable Side Yard Collection Service must make their selection for such service(s) within the first month after commencement of receiving any Residential Waste Collection Service. In the absence of an affirmative selection, a Residential customer shall be deemed to have selected Residential Solid Waste Curbside Collection Service and Residential Recyclable Curbside Collection Service. The foregoing notwithstanding, Contractor shall commence or cease, as appropriate, Residential Solid Waste Side Yard Collection Service and/or Residential Recyclable Side Yard Collection Service to/from any Residence upon direction from the Contract Administrator.

With respect to those Residential customers who select Residential Solid Waste Side Yard Collection and/or Residential Recyclable Side Yard Collection Service, Contractor shall (i) collect such Residential customer's Residential Solid Waste and/or Recyclable Materials, as appropriate, from Residential Solid Waste Karts and/or Recycling Karts, as appropriate, located in the customer's Side Yard, and (ii) make certain that said Karts are returned to the same location from which the Karts were obtained. Contractor shall not be required to collect Residential Solid Waste and/or Recyclable Materials from Karts that are located either (i) within an enclosed fence area, or (ii) underground. However, Residential Solid Waste Karts and/or Recycling Karts, as appropriate, that are located outside of enclosed fence areas but within enclosures that shield the Kart from view are permissible and the Contractor must make collection of such Karts and return the Karts to the same location. Contractor shall not be required to enter into a garage of a Residence to collect a Residential Solid Waste Kart and/or Recycling Kart, as appropriate.